

TO ALL PLANHOLDERS OF RECORD.

**RE:** Request for Proposals (RFP) – Tukwila Remodel

**FROM:** Cari Clizbe, Project Manager 360-353-8913 cclizbe@cowlitz.org

**PAGE(S):** Twelve (12), including this cover sheet.

**DATE:** January 21, 2026

Transmitted herewith is Addendum No. 1. If the Addendum is **not** received in full, please contact Cari Clizbe using contact information listed above. If all pages of the Addendum are received, please sign this sheet and include it in your bid package.

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Company's Name

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Company's Representative

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Date

## **ADDENDUM NO. 1**

January 20, 2026

### **Request for Quotations (RFP) – Tukwila Remodel**

This document forms a part of and modifies the RFP as noted below. Offerors should acknowledge their receipt of this Addendum to the street address or email address listed below with your RFP submission package. Failure to do so may subject Offerors to disqualification.

FOR: Cowlitz Indian Tribe  
Public Works Department  
929 Fir Street  
Longview, Washington 98462  
Attention: Cari Clizbe  
Email: [cclizbe@cowlitz.org](mailto:cclizbe@cowlitz.org)

The following corrections, clarifications and/or deletions to the RFP are hereby made a part of said documents.

This addendum consists of twelve (12) pages.

## **ADDENDUM NO. 1**

### **QUESTIONS AND ANSWERS**

1. Q. Is there an estimated cost for the project?  
A. The expectation is the proposal will have a cost to complete the project based on the scope of work provided in the RFP.
2. Q. Does the above project currently have an estimated budget or value?  
A. The expectation is the proposal will have a cost to complete the project based on the scope of work provided in the RFP.
3. Q. Bid date and any bidding opportunities/bidders list  
A. Information on the bid can be found in the RFP packet.
4. Q. Estimated start and end dates/Email for subs to send their bids to  
A. To be determined
5. Q. Current permitting status/Est value or sq ft (if applicable)  
A. Permits have not been submitted yet.
6. Q. Any updates to the project scope or timeline (sq ft/value/address)  
A. Any added updates would have been posted following the RFP process.

7. Q. Who is the Fire Alarm and Sprinkler company for the building and/or who will you be using to monitor the build once operational?  
A. Red Hawk or Cintas or WA Alarm.
8. Q. Who is the security company you will be using to maintain the building?  
A. Cowlitz Indian Tribe currently has a contract with Pacific Security.
9. Q. What areas will be occupied during construction and how do you plan to move around operationally with the work being performed? This will impact the overall timing of the project and cost.  
A. The building will not be occupied during construction,
10. Q. In the scope it calls out: “new supply diffusers, return grilles, balancing and fire/smoke dampers, and ductwork will be provided to serve spaces within the tenant improvement”. Is this being provided by the owner? Or should the contractor include this in the proposal?  
A. Revised text to read: “**Provide** new supply diffusers, return grilles, balancing and fire/smoke dampers, and ductwork ~~will be provided~~ to serve spaces within the tenant improvement”.
11. Q. In the general conditions it calls out the use of a guard service. Is this something you want contractors to provide in the budget?  
A. Owner will supply guard services.
12. Q. Is there a good faith survey for the site to determine hazardous materials?  
A. No good faith survey exists.
13. Q. What design services will be needed from the contractor? This is located on page 96-99 and calls out structural and engineering as examples. It also references mock-ups (page 103). Is this something the contractor is responsible for? Or your architect?  
A. The two structural items in the project scope are the support for the relocated existing operable partition and the support for the Procedure Room Exam light.  
a. For the operable partition, once the ceiling is opened up and the support is exposed, provide a design for support to replicate the existing in the new location.  
b. Procedure light support detail 11/A10.11 shows tube steel/plate support. Design for the bolted connections are to be provided per the support requirements of the selected exam light
14. Q. The general requirements call out references to LEED certifications, for example a waste management plan with LEED certification. Are you looking for this project to be LEED Certified? Pages 160-166 in the PDF call out some of the requirements for your reference. There is also a requirement for sustainable design reporting through Green Globes and seeking sustainability certification for the project.  
A. No LEED certification or reporting through Green Globes is required.
15. Q. Confirm nothing exterior is on scope. Demo procedures call out exterior items on page 181 of the PDF.

A. There is limited exterior work. See keynotes 7 and 8 on Demolition Plan A1.02 and Keynote 2 on Enlarged Plan A2.01.

16. Q. Do as-builds exist for the existing property?

A. There are record permit drawings of the original core and shell and limited information on subsequent tenant improvements. See 'Permit Drawings-6450 Southcenter Blvd-New building' and 'Royal Coachman Office Building' drawings attached to this addendum.

17. Q. It states that you want to use a web-based software and electronic submittal service. Do you have a preference of the software you'd like to use?

A. To be determined.

18. Q. Confirm that the two small panels in the small electrical room are to be removed with (3) new 200 amp panels installed in the new electrical rooms as shown on the drawings.

A. See note at electrical room regarding panel demolition on Enlarged Power Plan Sheet E2.03.

19. Q. Confirm the Data Drop boxes are to be 4 11/16" with 1 1/4" conduit stubs to ceiling. Is a Honeywell Fire Alarm system acceptable?

A. Refer to Electrical Basis of Design in the Project Manual, preceding Section 01 20 00 for drop boxes and conduit size.

20. Q. Is the building continuing to be fully sprinkled?

If Building is fully sprinkled can the Heat detectors, pulls, and smoke detector quantities be reduced from what is show on the drawings?

A. Building will be fully sprinklered. Bid as shown.

21. Q. Confirm if the Fire Alarm panel is to remain in the main electrical room that remains. Drawings mention FIRE RATED cable (expensive), Can the Fire Alarm cable be Plenum and Riser rated?

A. See note at Electrical Room on Enlarged Systems Plan, Sheet E4.03 for panel. Bid fire alarm cable as indicated,

22. Q. Confirm preferred Security system Manufacturer.

A. To be determined.

23. Q. Confirm which doors are required to have Push buttons and Card readers.

A. Refer to the comments column in the Door Schedule, Sheet A10.03 which indicates doors with card readers,

24. Q. Confirm keypad locations and quantities.

A. There are no keypads in the project scope.

25. Q. Confirm camera locations and requirements.

A. Camera locations and requirements to be coordinated with Owner,

26. Q. Can you clarify the backing format for Carpet Tile? Ethos or Flex Aire?  
A. Ethos.
27. Q. Will there be any additional on-site meetings?  
A. No.
28. Q. Furthermore, was attendance at the initial pre-bid meeting mandatory in order to submit a bid for this project?  
A. Yes.
29. Q. Do you have a preferred start date for the Cowlitz Tukwila TI project?  
A. See response to question #4.
30. Q. Do you have a preference or is it when you get through contract negotiations and planning?  
A. During contract negotiations.
31. Q. Is Cowlitz leasing or purchasing the building?  
A. The Cowlitz Tribe owns the building
32. Q. Is the building currently occupied?  
A. See response to question #9.
33. Q. What year was the building originally constructed?  
A. The building was constructed in 1988.
34. Q. Will the project be phased?  
A. Work will be constructed in a single phase.
35. Q. Will construction occur in an occupied environment?  
A. See response to question #9.
36. Q. What is the intended construction agreement type: stipulated sum, negotiated GMP, or T&M?  
  - The specifications reference Cost of the Work Plus a Fee.
  - The agreement exhibit included appears to be a consultant agreement and is not tailored to general contracting.
  - Will a revised sample agreement be issued during the RFP that aligns with the confirmed delivery method?  
A. Lump Sum
37. Q. The scorecard appears to be qualifications-based. Where does pricing factor into the evaluation?  
A. Pricing will be a factor in our final determination.
38. Q. Is price weighted, or does low bid ultimately determine award?

- A. Low bid does not determine award.
39. Q. Will there be a short list with interviews?  
A. Yes. Top four will present to the CIT leadership team.
40. Q. Is there a desired construction start date and substantial completion date?  
A. See response to question #4.
41. Q. A structural engineer is listed on the team—should we anticipate any structural scope  
A. See response to question #13.
42. Q. Are MEP as-builts available?  
A. No. See response to question #16.**A.**
43. Q. Is there an Owner’s Representative or third-party CM involved?  
A. Owner’s Representative.
44. Q. Who owns the existing fire alarm panel?  
A. Redhawk, Cintas and WA Alarm
45. Q. Who owns the existing HVAC controls system?  
A. Confirm with owner.
46. Q. Please confirm whether this is an FM Global project.  
A. To be determined.
47. Q. Is this a LEED project? If so, what certification level is being targeted?  
A. See response to question #14.
48. Q. Is this project subject to federal or state prevailing wage requirements?  
A. No
49. Q. Are there any TERO requirements applicable to this project?  
A. The Tribe currently does not have a TERO program
50. Q. Is it acceptable to include additional information to ensure both sections are fully addressed?  
A .Not Applicable.
51. Q. Is the job walk mandatory?  
A. Yes.
52. Q. Given that MEP is design/build, may proposers invite key trade partners to attend?  
A. No.
53. Q. Can you please confirm that a bid security is not required for this project, along with a performance and payment bond?

- A. Bid Bond required.
54. Q. Is the GC responsible for all permits, and does the permitting go through the tribe or County?
- A. .GC is responsible for all permits (except building permit will be submitted by the architect) Jurisdiction is the City of Tukwila.
55. Q. Are portions of the building going to be in use during construction, and will construction be in phases?
- A. See response to question #9.
56. Q. What is your expected timeline for competition?
- A. See response to question #4.
57. Q. Who is the current vendor for the fire alarm/system?
- A. Redhawk, Cintas and WA Alarm
58. Q. With the MEP's being design-build are you still on track for the 1/29 bid date?
- A. Yes
59. Q. In the selection process, will there be a short list with interviews?
- A. Yes, top four will present to the CIT leadership team.
60. Q. Is Cowlitz leasing or purchasing the building?
- A. See response to question #31.
61. Q. Is it acceptable to include additional information to ensure both sections are fully addressed?
- A. Yes.
62. Q. The RFP references both Davis-Bacon and Washington State prevailing wage requirements for this Cowlitz Tribe project. Could Owner clarify which wage law governs, whether both apply, and which certified payroll/forms we should prepare—particularly given any federal funding or tribal-specific requirements—so we can ensure accurate pricing and compliance?
- A. See responses to questions 48, 49 & 50.
63. Q. The scorecard appears to be qualifications-based. Where does pricing factor into the evaluation? Is price weighted, or does low bid ultimately determine award?
- A. Pricing will be a factor in our final selection.
64. Q. What is the intended construction agreement type: stipulated sum, negotiated GMP, or T&M? The specifications reference Cost of the Work Plus a Fee.
- A. Lump sum.
65. Q. Will a revised sample agreement be issued during the RFP that aligns with the confirmed delivery method?
- A. No.

66. Q. Project Management Software (Section 01 30 00): Section 1.04.I.2-3 requires the Contractor to pay the cost of a digital management service and provide up to 20 user licenses for the Owner/Architect. Is there a preferred platform required (e.g., Autodesk Construction Cloud), and is this cost intended to be part of the Lump Sum or handled as a reimbursable expense per Attachment E.  
A. Yes.
67. Q. A structural engineer is listed on the team but structural plans are not included in the RFP set. Can structural drawings, specifications, sketches or other structural information be made available to bidders?  
A. See response to question #13.
68. Q. Is there a desired construction start date and substantial completion date?  
A. See response to question #4.
69. Q. Is this a LEED project? If so, what certification level is being targeted?  
A. See Response to question #14.
70. Q. Will construction occur in an occupied environment?  
A. See response to question #9.
71. Q. Right-of-Way (ROW) Costs: If utility connections require work within the City of Tukwila ROW, please clarify the division of costs. Will the Owner provide/pay for the necessary ROW permits and specialized street restoration bonds? Please confirm if the Contractor's responsibility is limited to the physical construction of the patch/restoration.  
A. Will be discussed during contract negotiations,
72. Q. System Development & Impact Fees: Per the RFP submittal terms, the Contractor is responsible for "obtaining all necessary permits." Please confirm that System Development Charges (SDCs), utility impact fees, and municipal capacity charges—which are based on the Owner's specific use—will be paid directly by the Owner and are not to be included in the Contractor's Lump Sum bid.  
A. Owner will pay for permit fees
73. Q. During Site Walk, it was mentioned there may be need for the project to be phased to accommodate owner needs.  
A. See response to question #34.
74. Q. When is the building anticipated to be vacated?  
A. To be determined.
75. Q. Security Procedures (Section 01 35 53): This section outlines security procedures but does not define the perimeter boundary. Please confirm if the Owner will maintain the existing building perimeter security and monitoring, or if the Contractor is required to furnish and pay for 24/7 security personnel and temporary construction fencing.

A. Owner will handle security but not fencing.

76. Q. Consumption Charges (Sheet E0.02): Electrical General Note 2 requires the Contractor to "provide temporary construction power." Please clarify if the Contractor may utilize the existing building's electrical and water services. If so, will the Owner be responsible for the monthly consumption charges during the TI renovation?

A. Owner will cover.

77. Q. Staging & Parking: Please clarify the designated areas available for contractor staging, material laydown, and personnel parking. Will any costs or lost-revenue fees associated with using these spaces (e.g., existing reserved lot fees) be the responsibility of the Owner or waived for the duration of the project?

A. To be determined.

78. Q. Does this project require a TERO administrative fee or tax based on a percentage of the total contract value? If so, should this fee be included as a separate line item in our bid, or is it handled outside of the construction contract?

A. Tribe currently does not have a TERO program.

79. Q. Please clarify if Record Set Drawings (As-Builts) are available for the existing building and any previous Tenant Improvement (TI) projects within this existing structure. Information regarding elements such as existing structure, electrical panel schedules will help to inform the proposal process and ultimately, demo, and the design/build scopes of work

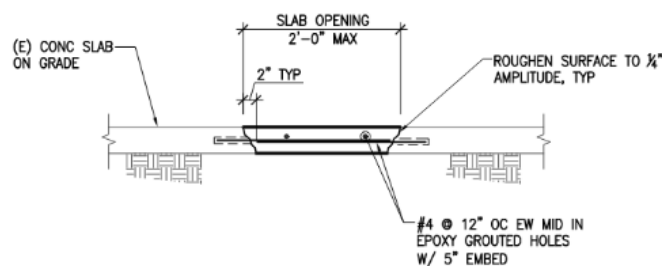
A. See response to question # 16.

80. Q. What year was the building originally constructed?

A. See response to question #33.

81. Q. What concrete slab thickness should be assumed for trench patch and repair. Please provide a structural detail for slab patching.

A. Add detail for Typical Concrete Slab Infill:



5 TYPICAL CONCRETE SLAB INFILL  
NOT TO SCALE

82. Q. Please provide a structural detail for enclosing roof structure at skylight framing  
A. To be determined,
83. Q. Does skylight just south of gridline F get deleted?  
A. Skylight in Exam 139 is to remain.
84. Q. Specification section 083313 paragraph 2.04 notes electric operation for coiling counter doors. Elevation note 07 on sheet 9.02 detail 13 calls for pass thru and "crank operated roll down door". Confirm that coiling grilles are to be manual crank per plans and elevations.  
A. Drawings are correct with reference to manual crank operation for both counter doors,
85. Q. Can you clarify why this wall is rated? Other walls in room are Non-rated.  
A. Reference to fire rating is incorrect. There are no fire rated partitions in the project.
86. Q. Hatching missing from GWB Ceilings on RCP plan A4.00-A4.03. Please clarify which rooms to receive GWB ceilings and which to be PTS  
A. a. On Sheet A4.00 and A4.03 Add note at existing electrical room at the south end of the building to read "Existing finish to remain"  
b. Sheet ID3.00, Finish Schedule, ACT-3 under notes column, delete 'Classroom'  
c. Revise Ceiling Type legend on Sheets A4.00 to A4.03 as shown:

## CEILING TYPES

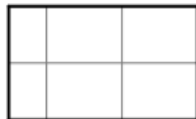
HATCH PATTERNS INDICATE DIFFERENCES IN MATERIALS. PATTERNS DO NOT / MAY NOT REFLECT ACTUAL SURFACE MATERIAL, REVEALS OR TEXTURES



GYPSUM BOARD  
CEILING



ACT-2  
ACOUSTIC BLADE  
CEILING PANELS



ACT-1  
2'-0" x 2'-0" CEILING TILE



ACT-3  
2' x 2' CONCEALED  
SUSPENSION TILE

87. Q. Please confirm the dashed wall and doors are provided by furniture vendor/owner (TYP UNO)?  
A. Refer to drawing legend for line types with corresponding descriptions.
88. Q. Confirm elevation 26/A9.03 mural wall should call for level 5 finish on gwb. (note 19)  
A. Yes mural wall shall have level 5 finish,
89. Q. "Custom Mural" is denoted (e.g. key note #9 on A9.01). Please confirm Custom Mural is "by others" & not intended to be in the Contractor's scope or costs.  
A. Mural will be by others. Contractor to prep wall for mural with Level 5 Finish and primer/sealer

90. Q. Regarding opening #106A, the drawings call for the existing operable wall to be salvaged and reused, while the door schedule (A10.03) specifies a "new upholstery finish." Please provide the specific manufacturer, style, color, and required STC rating for this finish. Note that field-applying new upholstery to an existing unit may void the original manufacturer's warranty and negatively impact the STC performance.  
A. Fabric not yet selected. For pricing, use Hytex Textiles Delight or Matrix collections.
91. Q. Given the high cost of field-refurbishing, would the design team prefer a cost proposal to provide a new operable wall that meets all current performance specs and carries a full factor  
A. Yes please provide a bid alternate for providing an equivalent new operable partition.
92. Q. There is no specification for residential appliances (refrigerators, coffee maker, dishwasher, disposals, microwaves, range). Confirm all residential appliances are owner furnished, owner installed.  
A. There is an equipment list in the project manual (inserted out of sequence following Section 01 10 00). Where no specific manufacturer or model has been selected, a basis of design manufacturer and model are shown as a 'placeholder' for contractor-furnished equipment
93. Q. The countertop in elevation 25/A9.03 is called out as WC-1. Is this supposed to be called out as SS-1 or SS-2?  
A. There is no 25 on A9.03. If you are referring to 25/A9.01, the finish should be SS-2.
94. Q. Confirm material finish for countertop at receiving.  
A. SS-2
95. Q. What vendor currently maintains the existing HVAC & HVAC controls system?  
A. Elite Mechanical.
96. Q. Fixture Types L5 & L6: These fixtures are shown on the drawings, but no specifications (manufacturer, model, or description) are provided in the schedule. Please provide the spec for these types.  
A. To be determined.
97. Q. Emergency (EM) Alternates: For types L1, L2, L3, and L4, the drawings indicate "EM" style alternates. However, there are no corresponding specifications for battery packs or emergency-specific drivers in the schedule. Please confirm the requirements for these units.  
A. Refer to Electrical Basis of Design in the project manual preceding Section 01 20 00 Price and Payment Procedures, Equipment list and Mechanical Basis of Design
98. Q. Fixture Type L3A: This type is listed in the Fixture Schedule but does not appear on any lighting drawings. Please confirm the locations or if this type quantity is zero.  
A. The two half shaded fixtures in Lab 114 should be corrected to be type 3A in lieu of Type 3.

99. Q. Is this lighting layout correct room 175, 184 sheet A4.02, it appears irregular compared to other rooms.  
A. No. the three fixtures running at an angle through room 174, 175 and corridor 184 are a drafting error and can be ignored.
100. Q. What vendor currently maintains the existing fire alarm system/panel?  
A. Red Hawk, Cintas and WA Alarm.
101. Q. Should we assume the placards/inspection stickers on the equipment represent the current vendor?  
A. Yes.
102. Specifications:  
**Replace** SECTION 03 01 00 - MAINTENANCE OF CONCRETE with revised Section 03 01 00 attached as part of this addendum.
103. Q. I am wondering if the Split System HPs that are on the mechanical schedule, along with the VAVs that are on the plans, are new equipment or are existing? I see that the RTUs are existing and to be reused. However, I couldn't find anything in the specs that referenced new equipment.  
A. Refer to the Mechanical Basis of Design in the project manual, following Summary of Work, section 01 10 000 and the equipment list.
104. Drawing Revisions:  
Sheet A9.01: Add countertop material callout on elevation 18 to be SS-2.  
Sheet A9.02: Correct countertop material callout on elevation 16 to be SS-1.

**END OF ADDENDUM NO. 1**

## SECTION 03 01 00 - MAINTENANCE OF CONCRETE

### PART 1 GENERAL

#### 1.01 Section Includes

- A. Cleaning of existing concrete surfaces.
- B. Repair of exposed structural, shrinkage, and settlement cracks.
- C. Resurfacing of concrete surfaces having spalled areas and other damage.
- D. Repair of deteriorated concrete.
- E. Repair of internal concrete reinforcement.
- F. Repair and strengthening of concrete with applied composite materials.
- G. Scope of Work: As indicated on drawings.

#### 1.02 Abbreviations and Acronyms

- A. CFRP: Carbon Fiber Reinforced Polymer.

#### 1.03 Definitions

- A. Carbon Fiber Reinforced Polymer (CFRP): Composite material comprising a polymer matrix reinforced with carbon fiber cloth, mat, or strands.

#### 1.04 Reference Standards

- A. ASTM A615/A615M - Standard Specification for Deformed and Plain Carbon-Steel Bars for Concrete Reinforcement; 2025.
- B. ASTM A775/A775M - Standard Specification for Epoxy-Coated Steel Reinforcing Bars; 2022.
- C. ASTM A996/A996M - Standard Specification for Rail-Steel and Axle-Steel Deformed Bars for Concrete Reinforcement; 2024.
- D. ASTM A1064/A1064M - Standard Specification for Carbon-Steel Wire and Welded Wire Reinforcement, Plain and Deformed, for Concrete; 2024.
- E. ASTM C39/C39M - Standard Test Method for Compressive Strength of Cylindrical Concrete Specimens; 2024.
- F. ASTM C109/C109M - Standard Test Method for Compressive Strength of Hydraulic Cement Mortars (Using 50 mm [2 in.] Cube Specimens); 2024.
- G. ASTM C150/C150M - Standard Specification for Portland Cement; 2024.
- H. ASTM C348 - Standard Test Method for Flexural Strength of Hydraulic-Cement Mortars; 2021.

- I. ASTM C881/C881M - Standard Specification for Epoxy-Resin-Base Bonding Systems for Concrete; 2020a.
- J. ASTM C928/C928M - Standard Specification for Packaged, Dry, Rapid-Hardening Cementitious Materials for Concrete Repairs; 2025.
- K. ASTM C1059/C1059M - Standard Specification for Latex Agents for Bonding Fresh to Hardened Concrete; 2024.
- L. ASTM C1708/C1708M - Standard Test Methods for Self-Leveling Mortars Containing Hydraulic Cements; 2025.
- M. ASTM D3039/D3039M - Standard Test Method for Tensile Properties of Polymer Matrix Composite Materials; 2017.
- N. AWS B2.1/B2.1M - Specification for Welding Procedure and Performance Qualification; 2021, with Errata (2023).
- O. AWS D1.4/D1.4M - Structural Welding Code - Steel Reinforcing Bars; 2018, with Amendment (2020).
- P. ICC-ES AC178 - Acceptance Criteria for Inspection and Verification of Concrete and Reinforced and Unreinforced Masonry Strengthening Using Fiber-Reinforced Polymer (FRP) or Steel-Reinforced Polymer (SRP) Composite Systems; 2017, with Editorial Revision (2020).
- Q. ICRI 310.2R - Selecting and Specifying Concrete Surface Preparation for Sealers, Coatings, Polymer Overlays, and Concrete Repair; 2013.

#### 1.05 Administrative Requirements

- A. Scheduling: Perform blast cleaning only between the hours of 7 am to 10 pm.

#### 1.06 Submittals

- A. See Section 01 30 00 - Administrative Requirements, for submittal procedures.
- B. Product Data: Indicate product standards, physical and chemical characteristics, technical specifications, limitations, maintenance instructions, and general recommendations regarding each material.
- C. Shop Drawings for Applied Composite Repairs: Provide shop drawings signed and sealed by Professional Engineer indicating:
  - 1. Repair location.
  - 2. Repair details.
  - 3. Fiber type, dimensions, number, thickness, and direction of layers.
  - 4. Installation sequence.
  - 5. Splice details.
  - 6. Joint and end details.
  - 7. Anchorage.
  - 8. Connections.
- D. Manufacturer's instructions.
- E. CFRP manufacturer's instructions.
- F. Field quality control submittals.

- G. Field quality control submittals for CFRP.
- H. Designer's qualification statement.
- I. Manufacturer's qualification statement.
- J. Cleaner's qualification statement.
- K. Installer's qualification statement.
- L. Welders' Qualification Statement: Welders' certificates in accordance with AWS B2.1/B2.1M and no more than 12 months before start of scheduled welding work.
- M. Project Record Documents: Accurately record actual locations of structural reinforcement repairs and type of repair.

1.07 Quality Assurance

- A. Designer Qualifications: Perform design under direct supervision of Professional Engineer experienced in design of this type of work and licensed in the State in which the Project is located.
- B. Manufacturer Qualifications: Company specializing in manufacturing products specified in this section, with not less than three years of documented experience.
- C. Cleaner Qualifications: Company specializing in, and with minimum of 3 years of experience in, the type of cleaning specified.
- D. Installer Qualifications: Company specializing in performing work of the type specified and with minimum of 3 years of documented experience.
- E. Welder Qualifications: Welding processes and welding operators qualified in accordance with AWS D1.4/D1.4M and dated no more than 12 months before start of scheduled welding work.

1.08 Mock-Ups

- A. Test each type of maintenance procedure required on each type of existing construction, to determine the most appropriate procedures to use and as a record of expected results.
- B. Crack Injection: Prepare one sample of each type of injection.
- C. Horizontal Surface Repair: Total of 10 foot square area, demonstrating each type of repair.
- D. Vertical Surface Repair: Total of 10 foot square area, demonstrating each type of repair.
- E. Where color or texture matching is required, first prepare a small size sample on cementitious board.
- F. Locate mock-up(s) where directed.
- G. Re-work mock-up(s) until satisfactory to Architect.
- H. Re-work mock-up(s) until satisfactory to Owner.
- I. Satisfactory mock-up(s) may remain as part of the work.

1.09 Delivery, Storage, and Handling

- A. Comply with manufacturers' instructions for storage, shelf life limitations, and handling of products.

- B. Deliver polymer resin materials in original factory-sealed containers with manufacturer's labels intact and legible. Verify product nomenclature, manufacturer's name, product identification, batch number, date of manufacture, and shelf life or expiration date. Do not use polymer resin materials that have exceeded shelf life.
- C. Store materials in covered, well-ventilated area and according to manufacturer's written storage instructions. Store polymer resins and hardeners separate from construction materials that can absorb odors.

## PART 2 PRODUCTS

### 2.01 Cleaning Materials

- A. Degreaser:
  - 1. Manufacturers:
    - a. Euclid Chemical Company; Euco Clean and Strip: [www.euclidchemical.com/#sle](http://www.euclidchemical.com/#sle).
    - b. LATICRETE International, Inc; CITREX: [www.laticrete.com/#sle](http://www.laticrete.com/#sle).
    - c. W. R. Meadows, Inc; \_\_\_\_\_: [www.wrmeadows.com/#sle](http://www.wrmeadows.com/#sle).
    - d. Substitutions: See Section 01 60 00 - Product Requirements.
- B. Detergent: Non-ionic detergent.
- C. Alkaline Cleaning Agent: *Alkaline concrete cleaner*.
- D. Acidic Cleaning Agent:
  - 1. Manufacturers:
    - a. United Gilsonite Laboratories; DRYLOK® Concrete and Masonry Etch and Cleaner: [www.ugl.com/#sle](http://www.ugl.com/#sle).
    - b. Substitutions: See Section 01 60 00 - Product Requirements.
- E. ~~Blasting Medium: \_\_\_\_\_.~~

### 2.02 Cementitious Patching and Repair Materials

- A. Manufacturers:
  - 1. ARDEX Engineered Cements: [www.ardexamericas.com/#sle](http://www.ardexamericas.com/#sle).
  - 2. Dayton Superior Corporation: [www.daytonsuperior.com/#sle](http://www.daytonsuperior.com/#sle).
  - 3. LATICRETE International, Inc: [www.laticrete.com/#sle](http://www.laticrete.com/#sle).
  - 4. Mapei Corporation: [www.mapei.com/#sle](http://www.mapei.com/#sle).
  - 5. W. R. Meadows, Inc: [www.wrmeadows.com/#sle](http://www.wrmeadows.com/#sle).
  - 6. Substitutions: See Section 01 60 00 - Product Requirements.
- B. Bonding Slurry: Water-based latex admixture; comply with ASTM C1059/C1059M, combined with Portland cement and sand in accordance with admixture manufacturer's instructions.
  - 1. Admixture Manufacturers:
    - a. Dayton Superior Corporation: [www.daytonsuperior.com/#sle](http://www.daytonsuperior.com/#sle).
    - b. Mapei Corporation: [www.mapei.com/#sle](http://www.mapei.com/#sle).
    - c. W. R. Meadows, Inc: [www.wrmeadows.com/#sle](http://www.wrmeadows.com/#sle).
    - d. Substitutions: See Section 01 60 00 - Product Requirements.
- C. Cementitious Resurfacing Mortar: One- or two-component, factory-mixed, polymer-modified cementitious mortar designed for continuous thin-coat application.
  - 1. In-place material resistant to freezing conditions.

2. Mixed with water or latex type bonding agent in proportions as recommended by manufacturer.
  3. Integral corrosion inhibitor.
  4. Recommended Thickness: Feather edge to 1/8 inch.
  5. Color: Gray.
- D. Cementitious Repair Mortar, Trowel Grade: One- or two-component, factory-mixed, polymer-modified cementitious mortar.
1. In-place material resistant to freezing conditions.
  2. Mixed with water or latex type bonding agent in proportions as recommended by manufacturer.
  3. Dry Material: Complies with ASTM C928/C928M.
  4. Integral corrosion inhibitor.
  5. Manufacturers:
    - a. KOSTER American Corporation: [www.kosterusa.com/#sle](http://www.kosterusa.com/#sle).
    - b. LATICRETE International, Inc: [www.laticrete.com/#sle](http://www.laticrete.com/#sle).
    - c. Mapei Corporation: [www.mapei.com/#sle](http://www.mapei.com/#sle).
    - d. Mapei Corporation: [www.mapei.com/#sle](http://www.mapei.com/#sle).
    - e. W. R. Meadows, Inc: [www.wrmeadows.com/#sle](http://www.wrmeadows.com/#sle).
- E. Cementitious Repair Mortar, Form and Pour/Pump Grade: Flowable, one- or two-component, factory-mixed, polymer-modified cementitious mortar; in-place material resistant to freezing conditions.
1. Mixed with water in proportions as recommended by manufacturer.
  2. Integral corrosion inhibitor.
- F. Cementitious Pavement Repair Mortar: Fast hardening, flowable; composed of cement, sand, and additives; capable of setting in cold weather conditions without the aid of chloride- or gypsum-based accelerators; in-place material resistant to freezing conditions.
1. Dry Material: Complies with ASTM C928/C928M.
  2. Integral corrosion inhibitor.
  3. Time to Top-Coating: 4 hours, maximum.
- G. Cementitious Hydraulic Waterstop: Very fast setting, low slump, hand formable, and capable of stopping active water leaks; in-place material resistant to freezing conditions.
1. Manufacturers:
- H. Exterior Self-Leveling Concrete Topping: Portland cement-based; suitable as wear surface topping in exterior and wet locations as well as underlayment for applied materials.
1. Compressive Strength: 4,300 psi, minimum, at 28 days, when tested in accordance with ASTM C109/C109M, air cured.
  2. Flexural Strength: 1,000 psi, minimum, at 28 days, when tested in accordance with ASTM C348.
- I. Exterior Self-Leveling Concrete Floor Topping:
1. Compressive Strength: 7,000 psi, minimum, at 28 days, when tested in accordance with ASTM C1708/C1708M.
- J. Pre-Blended Concrete Mix for Small Projects: Construction-grade Portland cement uniformly blended with aggregates and other approved concrete ingredients, requiring only the addition of water.
1. Compressive Strength: 4,000 psi, minimum, at 28 days, when tested in accordance with ASTM C39/C39M.

## 2.03 Epoxy Patching and Repair Materials

- A. Manufacturers:
  - 1. Dayton Superior Corporation: [www.daytonsuperior.com/#sle](http://www.daytonsuperior.com/#sle).
  - 2. Mapei Corporation: [www.mapei.com/#sle](http://www.mapei.com/#sle).
  - 3. Sto Corp: [www.stocorp.com/#sle](http://www.stocorp.com/#sle).
  - 4. W. R. Meadows, Inc: [www.wrmeadows.com/#sle](http://www.wrmeadows.com/#sle).
  - 5. Substitutions: See Section 01 60 00 - Product Requirements.
- B. Epoxy Repair Mortar: Epoxy resin mixed with aggregate and other materials in accordance with manufacturer's instructions for purpose intended; comply with pot life and workability limits.
  - 1. Manufacturers:
    - a. ARDEX Engineered Cements; ~~ARDEX BACA~~: [www.ardexamericas.com/#sle](http://www.ardexamericas.com/#sle).
    - b. Mapei Corporation: [www.mapei.com/#sle](http://www.mapei.com/#sle).
    - c. W. R. Meadows, Inc: [www.wrmeadows.com/#sle](http://www.wrmeadows.com/#sle).
- C. Epoxy Injection Adhesive:
  - 1. Manufacturers:
    - a. Dayton Superior Corporation: [www.daytonsuperior.com/#sle](http://www.daytonsuperior.com/#sle).
    - b. Mapei Corporation: [www.mapei.com/#sle](http://www.mapei.com/#sle).
    - c. W. R. Meadows, Inc: [www.wrmeadows.com/#sle](http://www.wrmeadows.com/#sle).
    - d. Substitutions: See Section 01 60 00 - Product Requirements.
- D. Epoxy Bonding Adhesive: Non-sag, two-component, 100 percent solids; recommended by manufacturer for purpose and conditions under which used.
  - 1. Non-Load-Bearing Applications: ASTM C881/C881M, Type I, II, III, IV, or V, whichever is appropriate to application.
  - 2. Load-Bearing Applications: ASTM C881/C881M, Type IV or V, whichever is appropriate to application.
  - 3. Other Applications: ASTM C881/C881M, Type as appropriate to application.
- E. Epoxy Grout: Two-component, 100 percent solids; recommended by manufacturer for purpose and conditions under which used.
  - 1. Non-Load-Bearing Applications: ASTM C881/C881M, Type I, II, III, IV, or V, whichever is appropriate to application.
  - 2. Load-Bearing Applications: ASTM C881/C881M, Type IV or V, whichever is appropriate to application.
  - 3. Other Applications: ASTM C881/C881M, Type as appropriate to application.

## 2.04 Urethane Patching and Repair Materials

- A. Manufacturers:
  - 1. Adhesives Technology Corporation: [www.atcepoxy.com/#sle](http://www.atcepoxy.com/#sle).
  - 2. ARDEX Engineered Cements: [www.ardexamericas.com/#sle](http://www.ardexamericas.com/#sle).
  - 3. Dayton Superior Corporation: [www.daytonsuperior.com/#sle](http://www.daytonsuperior.com/#sle).
  - 4. Euclid Chemical Company: [www.euclidchemical.com/#sle](http://www.euclidchemical.com/#sle).
  - 5. Substitutions: See Section 01 60 00 - Product Requirements.
- B. Polyurea-Modified Repair Gel: Rapid setting, two-component, 100 percent solids; use with or without aggregate to repair cracks and spalls in concrete surfaces.
  - 1. Manufacturers:
    - a. Adhesives Technology Corporation; CRACKBOND CSR: [www.atcepoxy.com/#sle](http://www.atcepoxy.com/#sle).
    - b. Substitutions: See Section 01 60 00 - Product Requirements.

- C. Polyurethane Repair Gel: Rapid setting, two-component; use with or without aggregate to repair cracks and spalls in concrete surfaces.
  - 1. Manufacturers:
    - a. ARDEX Engineered Cements; ARDEX ArdiFix: [www.ardexamericas.com/#sle](http://www.ardexamericas.com/#sle).
    - b. Dayton Superior Corporation: [www.daytonsuperior.com/#sle](http://www.daytonsuperior.com/#sle).
    - c. Substitutions: See Section 01 60 00 - Product Requirements.
- D. Hybrid Urethane Patching Material: Rapid setting, two-component, 100 percent solids; for rapid joint repair and crack filling where no future slab movement is anticipated.
  - 1. Manufacturers:
    - a. Adhesives Technology Corporation; CRACKBOND CSR: [www.atcepoxy.com/#sle](http://www.atcepoxy.com/#sle).
    - b. Curecrete Distribution, Inc; CreteFill Spall Repair: [www.curecrete.com/#sle](http://www.curecrete.com/#sle).
    - c. LATICRETE International, Inc; SPARTACOTE FAST FIX: [www.laticrete.com/#sle](http://www.laticrete.com/#sle).
    - d. Substitutions: See Section 01 60 00 - Product Requirements.
- E. Self-Leveling Concrete Joint and Crack Filler: Rapid setting, two-component, 100 percent solids; rigid enough to support concrete edges under traffic; for rapid joint repair and crack filling.
  - 1. Polyurea polymer formulation.
  - 2. 100 percent polyurea formulation.
  - 3. 100 percent aliphatic polyurea formulation, UV stable.
- F. Polyurethane Waterstop: Hydrophobic or hydrophilic, single-component, flexible polyurethane designed to stop water infiltration into concrete structures.

## 2.05 *Moisture control*

- A. ***One-coat Epoxy resin System For RH readings of up to 100%, fast setting solven free, alkali resistant. Meets or exceeds ASTM E96 - 0.06 perms and ASTM F3010-18***
  - 1. ***Manufacturers***
    - a. ***ARDEX Engineered Cements; ARDEX MC Rapid Moisture Control System: [www.ardexamericas.com/#sle](http://www.ardexamericas.com/#sle).***
    - b. ***Substitutions: See Section 01 60 00-Product Requirements.***

## 2.06 Accessories

- A. Anchoring Adhesive: Self-leveling or non-sag as applicable.
  - 1. Self-Leveling Polyester-Based Products:
  - 2. Self-Leveling Epoxy Products:
    - a. Abatron; BestBond Crack Repair: [www.abatron.com/#sle](http://www.abatron.com/#sle).
    - b. Euclid Chemical Company; DURAL FAST SET LV: [www.euclidchemical.com/#sle](http://www.euclidchemical.com/#sle).
    - c. Substitutions: See Section 01 60 00 - Product Requirements.
  - 3. Non-Sag Epoxy Products:
    - a. Adhesives Technology Corporation; ULTRABOND EPX-3CC: [www.atcepoxy.com/#sle](http://www.atcepoxy.com/#sle).
  - 4. Hybrid Epoxy-Resin-Base Products: Two-component, 100 percent solids, moisture-insensitive, high strength, high modulus, multipurpose liquid epoxy gel adhesive; comply with ASTM C881/C881M for Types I, II, IV, and V, Grade 3, Classes A, B, and C.
    - a. Adhesives Technology Corporation; ULTRABOND HYB-2CC: [www.atcepoxy.com/#sle](http://www.atcepoxy.com/#sle).
    - b. Substitutions: See Section 01 60 00 - Product Requirements.
- B. Portland Cement: ASTM C150/C150M, Type I, grey.

- C. Water: Clean and potable.
- D. Reinforcing Steel: ASTM A615/A615M Grade 40 (40,000 psi) billet-steel deformed bars, unfinished.
- E. Reinforcing Steel: Deformed bars, ASTM A996/A996M Grade 40 (280), Type A.
  - 1. Epoxy coated in accordance with ASTM A775/A775M.
- F. Cathodic Protection
  - 1. Metal Anodes: Sacrificial metal accessory connected to steel reinforcement to provide corrosion protection through galvanic reaction.
- G. Stirrup Steel: ASTM A1064/A1064M.

### PART 3 EXECUTION

#### 3.01 Examination

- A. Verify that surfaces are ready to receive work.
- B. Beginning of installation means acceptance of substrate.

#### 3.02 Preparation

- A. Prepare concrete surfaces to be repaired according to ICRI 310.2R.
- B. Surface Preparation for CFRP Systems:
  - 1. Repair cracks according to CFRP manufacturer's written instructions.
  - 2. Cleaning: Remove loose and unsound materials. Remove contaminants that would inhibit bond, such as laitance, dust, dirt, oil, curing compound, existing paint or coatings, efflorescence, and other matter that could interfere with bond of CFRP system concrete surfaces.
  - 3. Concrete: Roughen surface according to CFRP manufacturer's written instructions.
  - 4. Apply CFRP system within 72 hours of surface preparation.

#### 3.03 Cleaning Existing Concrete

- A. Provide enclosures, barricades, and other temporary construction as required to protect adjacent work from damage.
- B. Clean concrete surfaces of dirt or other contamination using the gentlest method that is effective.
  - 1. Try the gentlest method first, then, if not clean enough, use a less gentle method taking care to watch for impending damage.
  - 2. Clean out cracks and voids using same methods.
- C. The following are acceptable cleaning methods, in order from gentlest to less gentle:
  - 1. Water washing using low-pressure, maximum of 100 psi, and, if necessary, brushes with natural or synthetic bristles.
  - 2. Increasing the water washing pressure to maximum of 400 psi.
  - 3. Adding detergent to washing water; with final water rinse to remove residual detergent.
  - 4. Steam-generated low-pressure hot-water washing.
  - 5. Alkaline cleaning agent applied for the least amount of time that is effective, followed by slight acid rinse and water rinse.

6. Acidic cleaning agent applied for the least amount of time that is effective, followed by water rinse. Test acidic cleaning agents on mock-up surfaces prior to use.
  7. Abrasive blasting: Use only abrasive media that have been proven not to damage concrete by testing on mock-up.
- D. Do not use any of the following cleaning methods, unless otherwise indicated:
1. Brushes with wire bristles, grinding with abrasives, solvents, hydrochloric or muriatic acid, sodium hydroxide, caustic soda, or lye.
  2. Soap or detergent that is not non-ionic.
- 3.04 Paint and Graffiti Removal
- 3.05 Concrete Structural Member Repair
- A. See drawings for specific areas to be repaired.
  - B. Remove broken and soft concrete at least 1/4 inch deep.
  - C. Mechanically cut away damaged portions of reinforcement.
  - D. Remove corrosion from steel and clean mechanically.
  - E. Blast clean remaining exposed reinforcement surfaces.
  - F. Repair by welding new bar reinforcement to existing reinforcement using sleeve splices.
    1. Perform welding work in accordance with AWS D1.4/D1.4M.
    2. Make welded sleeve splices to achieve strength to exceed strength of new reinforcement.
  - G. Follow repair product manufacturer's written installation instructions.
  - H. Cover exposed steel reinforcement with epoxy mortar.
  - I. Work epoxy mortar into broken surface and build up patch to match original.
  - J. Feather edges of repairs flush to sound surface and trowel surface to match surrounding area.
- 3.06 Crack Repair Using Epoxy Adhesive Injection
- A. Repair exposed cracks.
  - B. Follow epoxy adhesive manufacturer's written installation instructions.
  - C. Provide temporary entry ports spaced to accomplish movement of fluids between ports; no deeper than the depth of the crack to be filled or port size diameter no greater than the thickness of the crack. Provide temporary seal at concrete surface to prevent leakage of adhesive.
  - D. Inject adhesive into ports under pressure using equipment appropriate for particular application.
  - E. Begin injection at lower entry port and continue until adhesive appears in adjacent entry port. Continue from port to port until entire crack is filled.
  - F. Remove temporary seal and excess adhesive.
  - G. Clean surfaces adjacent to repair and blend finish.

### 3.07 Concrete Surface Repair Using Cementitious Materials

- A. Clean concrete surfaces, cracks, and joints of dirt, laitance, corrosion, and other contamination using method(s) specified above and allow to dry.
- B. Follow bonding agent and repair mortar manufacturer's written installation instructions.
- C. Apply coating of bonding agent to entire concrete surface to be repaired.
- D. Fill voids with cementitious mortar flush with surface.
- E. Apply repair mortar by steel trowel to a minimum thickness of 1/4 inch over entire surface, terminating at a vertical change in plane on all sides.
- F. Trowel finish to match adjacent concrete surfaces.
- G. Damp cure for four days.

### 3.08 Concrete Repair Using CFRP Materials

- A. Wet Layup, Dry Layup, and Preimpregnated Systems:
  - 1. Install in accordance with manufacturer's written instructions.
  - 2. Apply saturating resin to full saturation of fibers according to manufacturer's written instructions.
  - 3. Remove air trapped between layers before resin sets.
  - 4. Place successive layers of saturating resin and fiber materials before complete cure of previous layer of resin.
  - 5. Handle sheet and fabric materials to maintain the fiber straightness and orientation. Remove and repair kinks, folds, or other forms of waviness.
- B. Precured Systems:
  - 1. Install in accordance with manufacturer's written instructions.
  - 2. Apply adhesives evenly where precured systems are to be placed.
  - 3. Apply adhesives according to CFRP manufacturer's written instructions.
  - 4. Remove air trapped between layers before adhesive sets.
- C. Carbon Fiber Stitches:
  - 1. Saw cut thin slit in concrete perpendicular to crack. Drill small diameter hole at each end.
  - 2. Fill cut with epoxy paste. Insert carbon fiber stitch into cut.
- D. Curing:
  - 1. Inspect the primer and CFRP resin to ensure proper cure according to manufacturer's written instructions.
  - 2. Do not modify resin chemistry in field.
- E. Surface Finish - Coating Application:
  - 1. Apply paints and coatings compatible with CFRP strengthening system prior to final resin cure for best results.
  - 2. After CFRP resin has cured, coatings may be applied after a light dust mechanical abrasion to remove the gloss from resin.
  - 3. Remove dust and residue from all surfaces by flushing with clean water before applying coating.
  - 4. Ensure all surfaces are dry before applying surface finish coating.
- F. Do not bridge over existing control joints.

3.09 Field Quality Control

- A. See Section 01 40 00 - Quality Requirements for additional requirements.
- B. An independent testing agency, as specified in Section 01 40 00, will perform field inspection and testing.
  - 1. Test concrete for calcium chloride content during the execution of the Work.
  - 2. Field Quality Control for CFRP:
    - a. Inspect installation and test for compliance with ICC-ES AC178.
    - b. Inspect for voids, bubbles, and delaminations by performing a visual and acoustic tap test of layered surface after 24 hours of initial resin saturant cure.
    - c. Test for material properties of CFRP in accordance with ASTM D3039/D3039M.
    - d. Coordination of Other Tests and Inspections: Provide access; accommodate tests and inspections by independent testing agency employed by Owner.
    - e. Nonconforming Work: Repair defective work after minimum cure time for CFRP laminates.

END OF SECTION 03 01 00

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CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-~~1845~~ 1849

## BUILDING PERMIT

PERMIT # 5464  
Control # 88-267  
(512)

Work to be done NEW COMMERCIAL BUILDING  
Site Address 6450 SOUTHCENTER BLVD Suite #      Tenant ROYAL COACHMAN  
Building Use OFFICE Assessors Account # 000320-0011-00/0012-09  
Property Owner BRUCE SOLLY DEV CO. INC Phone # 251-5000  
Address 8009 S. 180TH SUITE 104, KENT, WA 98032 Zip 98032  
Contractor POE CONSTRUCTION # POECO1\*2470Z Phone # 575-4283  
Address 3207 "C" STREET N.E. AURBURN, WA Zip 98002

FOR BUILDING PERMIT ONLY Approved for Issuance By: Robert S. Benedict Date: 11-3-88

Sq. Ft.	Office	Storage/ Warehouse	Retail	Other	Occ.	Load
1st Fl.	<u>15000</u>				<u>B-2</u>	<u>150</u>
2nd Fl.						
3rd Fl.						
Total						

Fire Protection: ☒ Sprinklers ☐ Detectors

Zoning P-O Type of Construction     

Special Conditions     

Fees		
sq. ft. @	1st Fl.	\$
sq. ft. @	2nd Fl.	\$
sq. ft. @	other	\$
sq. ft. @	other	\$
Total Valuation of Construction		\$ 619,605
Bldg. Permit Fee	Receipt # <u>6210</u>	\$ 2,398.00
Plan Check Fee	Receipt # <u>964</u>	\$ 1,559.00
Demolition	Receipt # <u>    </u>	\$
Surcharges	Receipt # <u>6210</u>	\$ 18.50
Other	Receipt # <u>    </u>	\$
Other	Receipt # <u>    </u>	\$
TOTAL		\$ 3,975.50

### FOR SIGN PERMIT ONLY

☐ Permanent ☐ Temporary  
☐ Single Face ☐ Double Face ☐ Wall Mounted ☐ Free Standing ☐ Other       
Building face      Setbacks: Front      Side      Side      Rear       
Square Footage of each sign face      Total square footage of sign       
Special Conditions     

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.  
Signed [Signature] Date 11/4/88

### LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of the Business and Professions Code, and my license is in full force and effect.  
Contractor (signature)      Date     

### OWNER-BUILDER DECLARATION

( ) I, as owner of the property, or my employees, with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale.  
(X) I, as owner of the property, am exclusively contracting with licensed contractor's to construct the project.  
Owner (signature) [Signature] Date 11/4/88



CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-~~1845~~ 1849

## BUILDING PERMIT

PERMIT # 5404

Control # 88-267  
(512)

Work to be done NEW COMMERCIAL BUILDING  
Site Address 6450 SOUTHCENTER BLVD Suite #      Tenant ROYAL COACHMAN  
Building Use OFFICE Assessors Account # 000320-0011-00/0012-09  
Property Owner BRUCE SOLLY DEV CO. INC Phone #       
Address 8009 S. 180TH SUITE 104, KENT, WA 98032 Zip 98032  
Contractor POE CONSTRUCTION # POECOI\*24707 Phone # 575-4283  
Address 3207 "C" STREET N.E. AUBURN, WA Zip 98002

FOR BUILDING PERMIT ONLY Approved for Issuance By: Robert J. Boudette Date: 11-3-88

Sq. Ft.	Office	Storage/ Warehouse	Retail	Other	Occ.	Load
1st Fl.	<u>15000</u>				<u>B-2</u>	<u>150</u>
2nd Fl.						
3rd Fl.						
Total						

Fire Protection: ☒ Sprinklers ☐ Detectors

Zoning P-O Type of Construction     

Special Conditions     

Fees		
sq. ft. @	1st Fl.	\$
sq. ft. @	2nd Fl.	\$
sq. ft. @	other	\$
sq. ft. @	other	\$
Total Valuation of Construction		\$ <u>619,605</u>
Bldg. Permit Fee	Receipt # <u>6210</u>	\$ <u>2,398.00</u>
Plan Check Fee	Receipt # <u>964</u>	\$ <u>1,559.00</u>
Demolition	Receipt # <u>    </u>	\$ <u>    </u>
Surcharges	Receipt # <u>6210</u>	\$ <u>18.50</u>
Other	Receipt # <u>    </u>	\$ <u>    </u>
Other	Receipt # <u>    </u>	\$ <u>    </u>
TOTAL		\$ <u>3,975.50</u>

### FOR SIGN PERMIT ONLY

☐ Permanent ☐ Temporary

☐ Single Face ☐ Double Face ☐ Wall Mounted ☐ Free Standing ☐ Other     

Building face      Setbacks: Front      Side      Side      Rear     

Square Footage of each sign face      Total square footage of sign     

Special Conditions     

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signed      Date 11/4/88

### LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of the Business and Professions Code, and my license is in full force and effect.

Contractor (signature)      Date     

### OWNER-BUILDER DECLARATION

( ) I, as owner of the property, or my employees, with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale.

(X) I, as owner of the property, am exclusively contracting with licensed contractor's to construct the project.

Owner (signature)      Date 11/4/88

CO-89-048



CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

DD

## INSPECTION RECORD

PERMIT # 541641

Date 6/23/89



Type of Inspection FINAL

Date Wanted 6/23/89 a.m. p.m.

Site Address 64150 S/C BLVD.

Project ROYAL COACHMAN

Requestor \_\_\_\_\_

Phone # \_\_\_\_\_

Special Instructions \_\_\_\_\_

Inspection Results/Comments: \_\_\_\_\_

OK TO FINAL

Inspector

Tom Jensen

Date

6/23/89



CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

*[Handwritten initials]*

## INSPECTION RECORD

PERMIT # 5464

Date 5/16/89

Type of Inspection Insulation

Date Wanted 5/16/89 a.m. (p.m.)

Site Address 6450 SC Blvd

Project Royal Coachman

Requestor Jim

Phone # 242-6833

Special Instructions \_\_\_\_\_

Inspection Results/Comments: INSULATION COMPLETE

Inspector Tom Jensen

Date 5/16/89



CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

*[Signature]*

## INSPECTION RECORD

PERMIT # 5464

Date 5/10/89

Type of Inspection CRIBING GVI'D

Date Wanted 5/11/89 a.m. p.m.

Site Address 16450 S/C BLVD

Project ROYAL CONCRETE

Requestor \_\_\_\_\_

Phone # \_\_\_\_\_

Special Instructions \_\_\_\_\_

Inspection Results/Comments: GVI'D COMPLETE SOUTH SECTION

Inspector Tom Jensen

Date 5/11/89



CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

*[Signature]*

## INSPECTION RECORD

PERMIT # 5464

Date 5-8-89

Type of Inspection Carling Grid Date Wanted Wed 5-10-89 a.m. p.m.

Site Address 6450 Southcenter Blvd Project Royal Coachman

Requestor Jim - POE Const Phone # 242 6833

Special Instructions \_\_\_\_\_

Inspection Results/Comments: NOT READY - AHUC DUCTS &

DEFUSERS NOT COMPLETE

GENERAL WILL CALL AGAIN

Inspector Tom Jensen Date 5/10/89



CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

*DPJ*

## INSPECTION RECORD

PERMIT # 5464  
Date 5/5/89

Type of Inspection Seismic Ceiling Date Wanted 5/5/89 a.m. (p.m.)  
Site Address 6450 SC Blvd. 8 Project Royal Coachman  
Requestor Jim / Poe Const Phone # 242-6833  
Special Instructions \_\_\_\_\_

Inspection Results/Comments: NORTH 1/2 OK TO COVER

Inspector

*Tom Jensen*

Date

5/4/89



CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

**INSPECTION RECORD** 5-2-64

PERMIT # 5464 ~~5297~~

Date 5/2/89

Type of Inspection Wallboard/Seismic Date Wanted 5/3/89 a.m. p.m.

Site Address 6450 SC Blvd Project Royal Coachman

Requestor Jim / Poe Const. Phone # 242-6833

Special Instructions \_\_\_\_\_

Inspection Results/Comments: SEE CORRECTION NOTICE

Inspector Tom Jensen Date 5/3/89

Royal Coachman  
Jim (job super) will  
provide us a letter signed  
by him certifying that the  
wallboard was fastened per  
code.

Mech permit will be  
issued either today or  
tomorrow & they will be  
double feed.



# CITY OF TUKWILA

Building Division  
6200 Southcenter Blvd.  
Tukwila, WA 98188  
433-1845

Permit No. 54104 Date 5/3/89 Job Address 6450 S/C BLVD.

## CORRECTION NOTICE

The following items are found to be in violation of Ordinance \_\_\_\_\_ and shall be corrected.

1. WALLBOARD TAPER PRIOR TO INSPECTION
2. CEILING CHAD NOT READY FOR INSPECTION
3. MECHANICAL WORK DONE WITHOUT A PERMIT.

CONTACT THE BUILDING OFFICIAL NAME  
GRiffin IN REFERENCE TO ITEMS #1 & #3

Signed

Tom Griffin

Building Official/Inspector

## POE Construction, Inc.

3207 "C" STREET N.E., AUBURN, WASHINGTON 98002 • (206) 833-2400 • 575-4283 • FAX: 939-4805

May 3, 1989

City of Tukwila  
Building Department  
6200 Southcenter Blvd.  
Tukwila, WA 98188

Attn: Duane Griffin

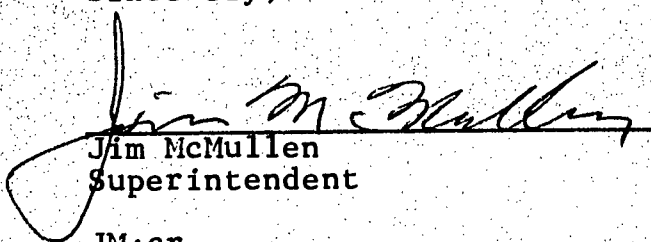
Re: Royal Coachman

Gentlemen:

This is to certify that the 5/8" sheetrock applied to walls under City of Tukwila Building Permit #5464, is screwed to metal studs with standard 1-1/8" sheetrock screws at 8" O.C. at the butt joint and 12" O.C. at studs in the field  $\pm \frac{1}{2}$ " as is standard drywall practice.

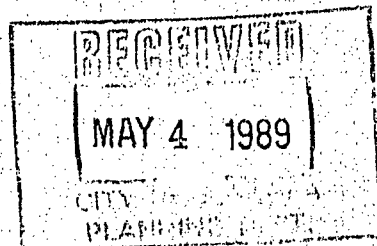
Poe Construction guarantees this application and will uncover any part at the request of a Tukwila Building Official for visual inspection.

Sincerely,

  
Jim McMullen  
Superintendent

JM:cr

A.11/92





CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

OK

## INSPECTION RECORD

PERMIT # 521641

Date 4/27/89

Type of Inspection ? Date Wanted 4/28/89 2:00 p.m.  
Site Address 6450 S/C BLVD Project ROYAL COMMISSION  
Requestor Jim Phone # 244-6833  
Special Instructions \_\_\_\_\_

Inspection Results/Comments: HAD QUESTIONS ON FIRE LOOP PLANT  
DIRECTED HIM TO THE FIRE DEPARTMENT.

Inspector Tom Jensen Date 4/28/89



CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

## INSPECTION RECORD

PERMIT # 5464

Date 4-13-89 today, if possible

Type of Inspection FRAMING Insulation Date Wanted \_\_\_\_\_ a.m. p.m.

Site Address 6450 Southcenter Blvd Project Royal Coachman

Requestor Jim Poirer Phone # 242-6833

Special Instructions \_\_\_\_\_

Inspection Results/Comments: FRAMING & FOAM WALL INSUL.  
OK TO COVER

Inspector Tom Jensen Date 4/13/89



CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

0111  
NHH

## INSPECTION RECORD

PERMIT # 5464

Date 2/27/89

Type of Inspection Roof Sheathing Date Wanted 2/28/89 a.m. p.m.

Site Address 6450 Southcenter Blvd. Project Royal Coachman

Requestor \_\_\_\_\_ Phone # \_\_\_\_\_

Special Instructions \_\_\_\_\_

Inspection Results/Comments: Roof nailing per plans and code OK to cover.  
(See attached Engineers report).

Signed off Footing, Foundation, rebar. Grouting and roof  
nailing.

Inspector Norm Bray Date 2/28/89

FROM HUDSON & ASSOCIATES

2.24.1989 14:41

P. 1

RICHARD HUDSON & ASSOCIATES, INC.  
CONSULTING ENGINEERS  
1605 12TH AVENUE • SUITE 18  
SEATTLE, WASHINGTON 98122  
206-324-6160  
Fax# 324-6248

Fax Memorandum/Transmittal

Date: FEB, 29, 1989

Re: ROYAL COACHMAN

To: DARTL (for Jim)

POE CONST

Fax#: 1-939-4805

# of Pages: 2

(including this one)

FIELD OBSERVATION REPORT FOR ROOF  
NAILING.

Signed: CHUCK MORRIS

cc: 1. File

2.

\*\*\*END\*\*\*

FROM HUDSON & ASSOCIATES

2.24.1989 14:37

P. 1

RICHARD HUDSON & ASSOCIATES, INC.  
Consulting Engineers  
1605 12th Avenue Suite 18  
SEATTLE, WASHINGTON 98122

(206) 324-6160

DAVID KEHLE, ARCH.  
12878 INTERURBAN AVE SO.  
SEATTLE, WA. 98168

FEB, 20, 1989  
ROYAL COACHMAN BLDG.  
SEATTLE, WA.  
POE CONST. SOLLY DEVEL.  
CLOUDY, RAIN 45 8:30 PM  
Jim - SUPER FOR POE CONST.

I OBSERVED THE NAILING OF THE ROOF DIAPHRAGM  
AND FOUND IT IN GENERAL COMPLIANCE WITH THE CONTRACT  
DOCUMENTS. THE FEW ~~AREAS~~ SHEETS OF PLYWOOD NOT NAILED  
CORRECTLY WERE POINTED OUT AND WHERE NAILED CORRECTLY.  
ALL OTHER WORK OBSERVED APPEARED TO BE IN COMPLIANCE  
WITH THE CONTRACT DOCUMENTS.

Jim @ POE CONSTRUCTION.

CHUCK MORRIS



CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

*DBT*

## INSPECTION RECORD

PERMIT # 5464

Date 2-23-89

Type of Inspection Grouting / Roof Nailing Date Wanted Friday 24-89 a.m. (p.m.)  
Site Address 6450 Southcenter Blvd Project Royal Coachman  
Requestor Jim Boz Cont Phone # 242-6833  
Special Instructions \_\_\_\_\_

Inspection Results/Comments: Grouting done yesterday.  
Roof nailing. Remove shimmers and obtain an inspection of  
the roof diaphragm by Eng. as required on approved plans.  
Call for reinspection.

Inspector Norm Bray Date 2/24/89



CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

QUIK  
BY

## INSPECTION RECORD

PERMIT # 5464  
Date 1-27-89

Type of Inspection PANIEL POUR Date Wanted 1-27-89 a.m. p.m.  
Site Address 6450 S/C BLVD. Project ROYAL CONCHMAN  
Requestor \_\_\_\_\_ Phone # \_\_\_\_\_  
Special Instructions STOPPED AT 9:00 WILL COME BACK TO  
CHECK TIME LIMITS ON THE CONCRETE

Inspection Results/Comments: I FOUND THEM POURING PANELS &  
THERE WAS NO SPECIAL INSPECTION ON SITE. THERE WAS  
NO CALL FOR INSPECTION. JOB SUPER STATED THAT  
A SPEC. INSP. HAD BEEN THERE BUT HE WENT TO WORK  
ON ANOTHER JOB. ADVISED SUPER TO HOLD UP WORK  
UNTIL SPEC. INSP. WAS ON SITE.  
IT APPEARS CONSTRUCTION MATERIALS TESTING LABS.  
INC. IS IN THE HABBIT OF TAKING ON JOBS WHEN  
THEY DON'T HAVE ENOUGH MEN TO COVER THE WORK.

Inspector TOM JENSEN Date 1-27-89

CONSI. MATERIALS TESTING LABS. INC.  
4417- PACIFIC HWY E.  
FIFE WA. 98424  
(206) 922-0798

NATHAN ELLIOTT (INSP) ON SITE  
10:45

I RETURNED APPROX 10:30 AND OBSERVED POUR  
SO THEY COULD GET THE CONCRETE PLACED  
BEFORE IT WAS TOO OLD.

I had discussions with Testing Lab, Architects office, & bldg owner rep. about this.  
I was assured by each that this would not happen again. D. Liffin



CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

## INSPECTION RECORD

PERMIT # 5464

Date 1-24-89 Thurs.

Type of Inspection Slab Concrete Panel Date Wanted want to pour 8:00 a.m. p.m.

Site Address 6450 Southcenter Blvd Project Royal Coachman

Requestor Jim POE Const Phone # 242-6833

Special Instructions \_\_\_\_\_

Inspection Results/Comments: Panels look good. Some imbedment steel not on site yet. Panel will be inspected by a special inspector. They will pour Friday morning.

Inspector Norm Bray Date 1/25/89



CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

0000

## INSPECTION RECORD

PERMIT # 5464

Date 1-17-89

Type of Inspection SLAB Date Wanted 1-17-89 a.m. p.m.

Site Address 6450 S/C BLVD. Project ROYAL COACHMAN

Requestor \_\_\_\_\_ Phone # \_\_\_\_\_

Special Instructions \_\_\_\_\_

Inspection Results/Comments: SPEC. INSP. ON SITE

I ADVISED THEM TO CLEAN UP THE  
SPILL AND THE DIRT IN THE STREET.

Inspector Tom Jensen Date 1-17-89



CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

AAA

## INSPECTION RECORD

PERMIT # 5464  
Date 12/29/88

Type of Inspection slab Date Wanted 12/30/88 ? a.m. p.m.  
Site Address 6450 SE Bl Project Royal Coachman  
Requestor Jim Phone # 242-6833  
Special Instructions pour at 8:00 am

Inspection Results/Comments: slab pour canceled until  
Tues.

Inspector Norm Breyer Date 12/30/88



CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

○ *WJ*

## INSPECTION RECORD

PERMIT # 5464

Date 12-1-88

Type of Inspection Foundation Pour

Date Wanted Now 12-19-88 a.m. (p.m.)

Site Address 6450 Southcenter Blvd

Project Road Coachman

Requestor Jim

Phone # 242 6833

Special Instructions \_\_\_\_\_

Inspection Results/Comments: Pouring footings. Special inspectors on site. No problems.

Inspector Norm Bray

Date 12/19/88



CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

*[Signature]*

## INSPECTION RECORD

PERMIT # 5404

Date 12/13/88

Type of Inspection Footings Date Wanted 12/16/88 (a.m.) p.m.  
Site Address 16450 Southcenter Bl Project Royal Coachman  
Requestor Jim Phone # 242-0833  
Special Instructions DOWN AT NOON

Inspection Results/Comments: 8:30 NOT READY

11:30 T. FISHER OF CONST. MATERIALS TESTING  
LAB. ON SITE FOR PARTIAL FOOTING POUR

INSPECTION REPORTS FROM RETAINING WALL  
NOW ON SITE.

Inspector Tom Jensen

Date 12-16-88



CITY OF TUKWILA  
Building Division  
5200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

*[Signature]*

## INSPECTION RECORD

PERMIT # 52164

Date 12-15-88

Type of Inspection CONCRETE / CURING Date Wanted 12-15-88 a.m. p.m.  
Site Address 6450 S/C BLVD Project ROYAL COMLAWAN  
Requestor D. GRIMIN Phone # \_\_\_\_\_  
Special Instructions ADVISE JOB SUPER AS TO CURING REQUIREMENTS

Inspection Results/Comments: TALKED WITH JOB SUPERINTENDENT ABOUT  
CONCRETE CURING IN COLD WEATHER.  
SPEC. INSP. REPORTS STILL NOT ON SITE / HE WILL  
HAVE THEM TODAY SOMETIME.

Inspector TOM JENSEN Date 12-15-88



CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

*PH*

## INSPECTION RECORD

PERMIT # 5464

Date 12-12-88

Type of Inspection Concrete Pouring at 12:30 PM Date Wanted Tues. 12-13-88 12:30 PM a.m. p.m.

Site Address 6450 Southcenter Blvd Project Royal Coachman

Requestor Jin Poz Phone # 242-6833

Special Instructions \_\_\_\_\_

Inspection Results/Comments: Special inspector on site. OK to  
pour north retaining wall.

Inspector Norm Bray Date 12/13/88



CITY OF TUKWILA  
Building Division  
6200 Southcenter Boulevard  
Tukwila, Washington 98188  
(206) 433-1849

*DM*

## INSPECTION RECORD

PERMIT #

~~5464~~ 5464

Date

12/6/88

Type of Inspection

Footing - Retain Wall

Date Wanted

12/7/88

(a.m.) p.m.

Site Address

6450 Southcenter Bl

Project

Royal Coachman

Requestor

Jim McMullen

Phone #

242-6833

Special Instructions

Inspection Results/Comments:

Footing North side of site Retaining wall  
OK TO pour. Special inspection required.

Inspector

Norm Beard

Date

12/7/88



**CITY OF TUKWILA**  
Central Permit System

Control No. 88-267 ✓  
Permit No. 5464

## FINAL APPROVAL FORM

TO: ☐ Building ☐ Public Works ☐ Police  
☐ Planning ☒ Fire Dept. ☐ Parks / Recreation

Project Name Royal Coachman  
Address 6450 Southcenter Bl  
Type of Permit(s) T.I.

This project is nearing completion. Please investigate your area of responsibility and indicate below either your final approval or necessary corrections.

If no response is received within one week, it will be assumed that the project is of no concern to your department and a certificate of occupancy may be issued.

This project is NOT approved by this department; the following corrections are necessary:

- ( )
  - (x) ① Mark fire lanes
  - (x) ② Blot address #'s
  - (x) ③ Monitor SPK system
  - ( )
  - ( )
  - ( )
  - ( )
  - ( )
  - ( )
  - ( )
  - ( )
  - ( )
  - ( )
- no occupancy of offices  
until 1-3 are  
complete

Authorized Signature

Date

This project is approved by this department:

Authorized Signature

Date

THE FOLLOWING COMMENTS APPLY TO AND BECOME PART OF THE APPROVED PLANS UNDER  
TUKWILA BUILDING PERMIT NUMBER 5464.

1. No changes will be made to plans unless approved by Architect and Tukwila Building Department.
2. Plumbing permit to be obtained through King County Health Department and plumbing will be inspected by that agency (including all gas piping).
3. Electrical work to be inspected by State Electrical Inspectors and all required electrical permits obtained through that agency.
4. All mechanical work to be under separate permit.
5. All permits to be posted at job site prior to start of any construction.
6. When Special Inspection is required either the owner, architect or engineer shall notify the Tukwila Building Department of appointment of the inspection agencies prior to the first building inspection. Copies of all special inspection reports shall be submitted to the Building Department in a timely manner. Reports shall contain address and permit number of the project being inspected.
7. All structural concrete to be special inspected. (Sec. 306, UBC)
8. All structural welding to be done by W.A.B.O. certified welder and special inspected. (Sec. 306, UBC)
9. Any new ceiling grid and light fixture installation to meet lateral bracing requirements for Seismic Zone 3.
10. Partition walls attached to ceiling grid must be laterally braced if over eight (8) feet in length.
11. Any exposed insulation backing material to have Flame Spread Rating of 25 or less.
12. Subgrade preparation including drainage, excavation, compaction, and fill requirements shall conform strictly with recommendations given in the soils report or as directed by the soils engineer. Existing rockery and proposed slopes and retaining walls shall be approved by soils engineer prior to construction.
13. Statement from roofing contractor verifying fire retardancy of roof will be required prior to final (see attached letter).
14. All construction to be done in conformance with approved plans and requirements of the Uniform Building Code (1985 Edition), Uniform Mechanical Code (1985 Edition), Washington State Energy Code (1986 Edition), and Washington State Regulations for Barrier Free Facility (1986 Edition).
15. All purlin stress grades noted on plans shall be identified by grade mark stamped on each member as called for in general structural notes.
16. Toilet rooms shall comply with all requirements of chapter 5, Washington state council regulations for barrier-free facilities.

- 
17. Toilet rooms shall have a smooth, hard non-absorbent surface which extends upward onto walls at least 5-inches. Walls within water closet compartments and walls within 2-feet of the front and sides of urinals shall be similarly finished to a height of 4-feet.
  18. General contractor shall be responsible for location of all foundations.
  19. Any overlooked hazardous condition and/or violation of the adopted building code does not imply approval of such condition or violation.
-



## City of Tukwila

### FIRE DEPARTMENT

444 Andover Park East  
Tukwila, Washington 98188-7661  
(206) 575-4404

Gary L. VanDusen, Mayor

September 15, 1988

Fire Department Review  
Control Number 88-267

Re: Royal Coachman Office - 6450 Southcenter Blvd.,  
Tukwila, Wa.

Dear Sir:

The attached set of building plans have been reviewed by  
The Fire Prevention Bureau and are acceptable with the  
following concerns:

1. An automatic fire extinguishing (sprinkler) system is  
required and shall be designed, installed and tested.  
(City Ordinance #1141)

Hose stations are required. (Plans must be submitted  
to the Fire Marshal for approval prior to  
installation.) (City Ordinance #1141)

All sprinkler drawings shall be prepared by companies  
licensed to perform this type of work. Drawings shall  
first be approved by the Washington Surveying & Rating  
Bureau, Factory Mutual Engineering or Industrial Risk  
Insurers, then by the Tukwila Fire Department. No  
sprinkler work shall commence without approved  
drawings. (City Ordinance #1141 & NFPA 13, 1-9.1)  
(UFC 10.307)

All new underground piping shall be tested  
hydrostatically. Test pressure shall be not less than  
200 psi for 2 hours. Maximum leakage allowed (with  
joints in plain view) shall not exceed 2 quarts per  
hour. The Fire Department shall witness all tests.  
(NFPA 24, 8-9.3.2 & NFPA 24, 8-9.3.3) (UFC 10.301)

All underground piping shall be visually inspected by  
the Tukwila Fire Department prior to any backfilling.  
Pipe joints shall not be covered until after  
completion of a successful hydrostatic test. (NFPA



## City of Tukwila

### FIRE DEPARTMENT

444 Andover Park East  
Tukwila, Washington 98188-7661  
(206) 575-4404

Gary L. VanDusen, Mayor

Page number 2

24, 8-9.3.4) (UFC 10.301)

Extend sprinkler coverage to include all canopies, entryways, foyers, etc. which are completely or partially constructed of combustible materials. (UFC 10.301)

All sprinkler systems with more than 100 heads shall be supervised by an approved central, proprietary or remote station service or a local alarm which will give an audible signal at a constantly attended location. Approved central stations are those listed by Underwriter's Laboratories, Inc. (UFC 10.309)

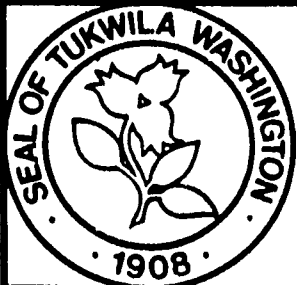
All fire alarm systems, fire hydrant systems, standpipe systems, sprinkler systems and other fire-protection systems shall meet the approval of the Fire Department as to installation and location. Plans and specifications shall be submitted to the Fire Department for review and approval prior to their construction. (UFC 10.301e)

2. All electrical work and equipment shall conform strictly to the standards of the National Electrical Code. (NEPA 70) (UFC 10.104)

All electrical wiring is to be inspected by the State Electrical Inspector, Washington State Department of Labor & Industries. (UGC 10.104)

3. Walls and ceilings of corridors serving an occupant load of 30 or more shall be not less than one-hour fire resistive construction. (UFC 3305g) (UFC 12.106a)

All interior wall covering materials shall be fire-resistive or shall be treated to be fire-resistive, so as to result in a flame-spread rating as required by UFC Appendix VI-C tables 42A and 42B. A certificate of the flame spread rating is required to be delivered to the Tukwila Fire Department. (UBC 4204) (UFC 10.401)



## City of Tukwila

### FIRE DEPARTMENT

444 Andover Park East  
Tukwila, Washington 98188-7661  
(206) 575-4404

Gary L. VanDusen, Mayor

Page number 3

Ceilings shall form continuous fire-resistive membranes to prevent the vertical and horizontal spread of fire and smoke. Please replace the missing ceiling tile(s). (UFC 10.401)

Your street address must be conspicuously posted on the building and shall be plainly visible and legible from the street. Numbers shall contrast with their background. (UFC 10.208)

4. Every building shall be accessible to Fire Department apparatus by way of access roadways with all-weather driving surface of not less than 20' wide and 13'6" vertical clearance. Access roads in excess of 150' shall be provided with an approved turn-around area. Access shall be within 150' of all portions of the building. (UFC 10.207 as amended)

Fire lane designation required per City Ordinance #1398 and Uniform Fire Code Section 10.207 as amended.

Every exterior portion of a building must be within 300' of a fire hydrant, measured around the perimeter of the building. (City Ordinance #729)

All hydrants and all surface access roads shall be installed and made serviceable prior to and during the time of construction (UFC 10.301)

5. The total number of fire extinguishers required for your establishment is calculated at one extinguisher for each 3000 sq. ft. of area. The extinguisher(s) should be of the "All Purpose" (2A, 10 B:C) dry chemical type. Travel distance to any fire extinguisher must be 75' or less. (NFPA 10, 3-1.1) (UFC 10.301b)

Extinguishers shall be installed on the hangers or in the brackets supplied, mounted in cabinets, or set on shelves (NFPA 10, 1-6.6), and shall be installed so that the top of the extinguisher is not more than 5



## City of Tukwila

### FIRE DEPARTMENT

444 Andover Park East  
Tukwila, Washington 98188-7661  
(206) 575-4404

Gary L. VanDusen, Mayor

Page number 4

ft. above the floor. (NFPA 10, 1-6.6) (UFC 10.301)

Extinguishers shall be located so as to be in plain view (if at all possible), or if not in plain view, they shall be identified with a sign stating, "Fire Extinguisher," with an arrow pointing to the unit. (NFPA 10, 1-6.3) (UFC 10.301)

6. Exit hardware and marking must meet the requirements of Uniform Fire Code Sections 12.104 & 12.114.

Exits shall be illuminated at any time the building is occupied. An emergency system shall automatically provide exit illumination upon failure of the main power supply. (UFC 12.113a)

No obstruction or storage shall be placed in the required width of an exit except for projections permitted by the Building Code. (UFC 12.103a)

7. This review limited to speculative tenant space only - special fire permits may be necessary depending on detailed description of intended use.

8. Key box - When access to or within a structure or an area is unduly difficult because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the Chief may require a key box to be installed in an accessible location. The key box shall be a type approved by the Chief and shall contain keys to gain necessary access as required by the Chief. (UFC 10.209)

**Mahan&DeSalvo**

CONSULTING ENGINEERS

1411 Fourth Avenue Bldg.  
Seattle, Washington 98101  
(206) 624-8150  
(206) 624-4488

OCT 27 1988

October 27, 1988



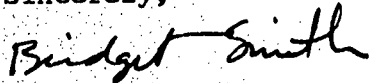
Duane Griffin  
City of Tukwila  
6200 Southcenter Blvd  
Tukwila, Washington 98188

Regarding: 88-T-12 (Royal Coachman)

Dear Mr. Griffin,

We have received additional information on the proposed project and have reviewed it for compliance with Chapters 23 through 29 of the 1985 Edition of the Uniform Building Code. We have no additional comments.

Sincerely,



Bridget Smith

Enclosure: Drawings, Calculations & Soils Report

cc: David Kehle  
12878 Interurban Avenue South  
Tukwila, Washington 98168

## Mahan&DeSalvo

CONSULTING ENGINEERS

1411 Fourth Avenue Bldg.  
Seattle, Washington 98101  
(206) 624-8150  
(206) 624-4488

October 14, 1988



Duane Griffin  
City of Tukwila  
6200 Southcenter Blvd  
Tukwila, Washington 98188

Regarding: 88-T-12 (Royal Coachman)

Dear Mr. Griffin,

We have received plans and calculations for the proposed project and have reviewed them for compliance with Chapters 23 through 29 of the 1985 Edition of the Uniform Building Code. Please have the applicant respond to the following comments in an itemized letter form and resubmit 2 copies of revised drawings and one copy of revised calculations as required.

### Structural

1. Provide copies of all drawings with changes or additions. This will include and is not limited to S2 & S4, according to the response letter.
2. E70 electrodes are inadequate for welding grade 60 reinforcing. Include correct electrodes in the Structural Notes for welding Grade 60 reinforcing.
3. It appears that the stress, caused by beam loads being applied eccentrically to the panel center line, have not been considered. Provide calculations to show adequacy and revise drawings if required.
4. Provide the mechanical screen information on the drawings. Show adequate connections to the roof structure.
5. It is adequate to call out minimum weld size in the structural notes. It is necessary, however, to show the weld symbol on the sections and details.

Please call if you have any questions.

Sincerely,



Bridget Smith

cc: David Kehle

TELEPHONE MEMO

RE: Coachman Bldg Permit Review

PERSON CONTACTED: Alan Bylson, Kelle Arch.

PERSON CALLING: Vernon Clinton

DATE: 10/11/88

INFORMATION ITEMS:

1) Informed AB that revised site plan of 10/10/88 should be further modified as follows:

a) First parking space from Southcenter Blvd. access to be converted to landscaping.

b) A truckloading & non-overlapping dumpster area to be developed.

c) North retaining walls to be board formed to ~~texture~~ provide texture

d) 65<sup>TH</sup> Ave. access to have radius curve returns

e) Landscape plans to be stamped & reflect BAR conditions.

2) AB said he would review BAR conditions.

RECEIVED REVISIONS 10/12/88.

## **Mahan&DeSalvo**

CONSULTING ENGINEERS

1411 Fourth Avenue Bldg.  
Seattle, Washington 98101  
(206) 624-8150  
(206) 624-4488

September 30, 1988



Duane Griffin  
City of Tukwila  
6200 Southcenter Blvd.  
Tukwila, Washington 98188

Regarding: 88-T-12 (Royal Coachman)

Dear Mr. Griffin,

We have received plans and calculations on the proposed project and have reviewed them for compliance with Chapters 23 through 29 of the 1985 Edition of the Uniform Building Code. Please have the applicant respond to the following comments in itemized letter form and resubmit two copies of revised drawings and one copy of revised calculations as required.

### Structural

1. The architectural plans show mechanical equipment and a 3' screen. Show that these loads have been accounted for and show adequacy of screen.
2. Provide calculations for 5-1/8 x 22-1/2 GLB at Grid 11. Span called out in calculations is incorrect.
3. Locate chord reinforcing in the panel elevations and relate this dimension to the roof diaphragm. Is chord steel called out in panel 1 typical?
4. Is it intended to have only one "B" connection between panels?
5. Explain why some panels have double #5's at sides of openings and others have only a single #5 for openings of similar size.
6. Show adequacy of panels for beam loads.
7. Complete references to details on sheet S-6.
8. Complete reference in Section L-4.
9. Show adequacy of columns including torsion due to the shear elements. Refer to section K-4.
10. Show adequacy of connections shown in section D-4 for lateral and axial loads.
11. Call out welds in section B-3, at 2 x 2 x 1/4 angle.

September 30, 1988  
Duane Griffin  
City of Tukwila  
Re: 88-T-12  
Page Two

12. If grade 60 reinforcing is to be welded, specify correct ASTM and electrodes. Correct structural notes.

Please call if you have any questions.

Sincerely,

*Bridget Smith*

Bridget Smith

cc: David Kehle  
12878 Interurban Avenue South  
Tukwila, Washington 98168



**Mahan&DeSalvo**

ORDINANCE COMPLIANCE - PLAN CHECK NOTES

Sheet 1 of 2

Date: 8-31-88

PROJECT: ROYAL COACHMAN OFFICE BLDG.  
6450 SOUTHCENTER BLVD.

# 88-267

- ✓ 1. OCCUPANCY GROUP B-2, OFFICE BLDG. & PROPOSED ACC. RETAIL
- ✓ 2. TYPE OF CONSTRUCTION V-N (SPRINKLERED)
- ✓ 3. LOCATION ON PROPERTY PROPOSED MIN. YD. = 10'; PER TABLE 5A:  
1-HR F.R. REQD. < 20', OPS. N.P. < 5', PROTECTED < 10'... PROPOSED MIN.  
YARD = 10' WALL = 7 1/4" CONC. ∴ O.K. FOR 1-HR REQMT. - OPS N.P. O.K.
- ✓ 4. BLDG. HT./# OF STORIES 1-STORY, O.K. PER TABLE 5D <sup>TR. 1/2</sup> (2 ALLOWED)
- ✓ 5. FLOOR AREA BASIC ALLOWABLE: 8000 SF  
✓ PROPOSED 15K SF INR. FOR SEP. 3 SIDES: 2.5 X 10 X 8000 = 2000 SF ✓  
AUTO SPRINKLER INC. 3X 10,000 SF = 30K SF ALLOW.
- ✓ 6. OCCUPANT LOAD PROPOSED FLOOR AREA = 15,000 SF  
15000/100 = 150 OCCUPANTS FOR OPEN SHELL  
AS PROPOSED. (NO DEMISING WALLS)

**DETAILED REQUIREMENTS**

- ✓ 7. OCCUPANCY NOTES ON SHEET 2
- ✓ 8. TYPE IF CONSTRUCTION N EXTERIOR WALL REQMTS O.K. PER TABLE 5
- ✓ 9. EXITING OCCUPANT LOAD > 30 ∴ TWO EXITS REQD FROM "SHELL" AREA  
@ 220/2 = 110' APART PROPOSED PLAN O.K. ALL < 200'  
FROM EXIT DOOR. ✓
- ✓ 10. CODE REGS. SEC. 705: REQUIRE RESOLVE OF T-RM ISSUE. PLANS  
TO SHOW MENS & WOMENS T-RM. & INSTALLED PRIOR TO C.O.
- ✓ 11. ENGINEERING REGS. & REQMTS. STRUCTURAL REVIEW BY MAHAN & DESALVO  
SENT TO MAHAN 9-7-88 - Add note to drawings regarding Lmbr. Grade
- ✓ 12. COMPLIANCE W/ W.S.E.C. NOTE ON SHEET 2
- ✓ 13. COMPLIANCE W/ CHAPTER 51-10 W.A.C. BLDG = ACCESSIBLE AS PROPOSED  
HANDICAPP BARRIER FREE REQMTS FOR T-RMS ARE REQD. NOTE ON ✓ LIST  
PAGE 2

ORDINANCE COMPLIANCE - PLAN CHECK

Sheet 2 of 2

Date: 9-8-88

PROJECT: Royal Coachman - Office Bldg.  
6450 Southcenter Blvd.

# 88-267

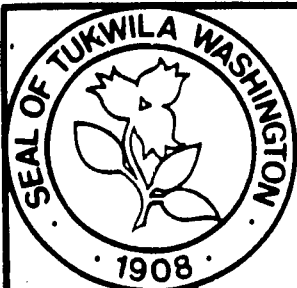
The following corrections and/or clarifications are required to complete the plan review.

ALAN BYLSMA 433-8997

1. Provide typical layout for Men's & Women's Toilet rooms.  
Each should meet barrier free requirements of chapter  
51-10 W.A.C. - Minimum of two toilet rooms should  
be located on plan and be completed prior to final  
Approval and C&O for building shell is issued.
2. Provide detail for Proposed bracing of Suspended  
ceiling system. (lateral) Per Seismic zone 3.
3. Provide Product information data and Callout  
rigid insulation proposed for R=11 @ 1 1/2" thick.  
Also supply product data documenting flame  
spread rating of 25 or less for Rigid insulation  
Exposed above suspended ceiling line.

9-9-88

Called Alan Bylsma, asked that he respond  
to the three items above, Meanwhile I  
would route plans to other depts.



## City of Tukwila

6200 Southcenter Boulevard

Tukwila Washington 98188

**(206) 433-1800**

Gary L. VanDusen, Mayor

September 7, 1988

Mahan & Desolvo  
1411 4th Ave. Building  
Seattle, WA 98104

Attn: Bridgette Smith

Dear Bridgette:

Enclosed are the plans for the proposed office building located at 6450 Southcenter Boulevard known as Royal Coachman. Please review for structural only. Retaining walls will be under a separate permit and will require separate plan check.

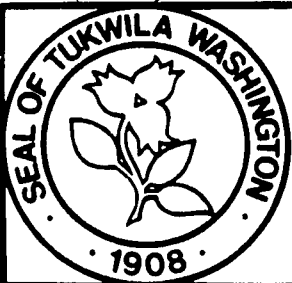
If you should have any questions, please feel free to contact Duane or myself (433-1851).

Sincerely,

*Becky L. Davis*

Becky L. Davis  
Permit Coordinator

*Bob -  
please put in  
file if you  
have it.*



## City of Tukwila

6200 Southcenter Boulevard

Tukwila Washington 98188

(206) 433-1800

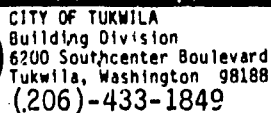
Gary L. VanDusen, Mayor

### MEMORANDUM

TO: Royal Coachman Site 88-267  
FROM: RUB  
DATE: 9-6-88  
SUBJECT: Listed

1. Called Alan Bylsma (DAVID KETTLER ARCHTS.) 433-8997  
... Told Alan that we would be sending structural  
drawings to Mahan's office for review, also indicated  
that public works has reservations about proposed ret-  
aining wall - Since a revision to this retaining  
wall could affect the bldg. - Should we wait to  
receive these changes? - Will Call back
2. Need Toilet Rm issue resolved Prior to C.O.O.  
Reqd: 1-WC & 1-lav. for each sex.  
(Barrier free standards apply.)

Returned Call to Alan: He spoke to phil to  
get an understanding of his concerns, & feels that  
this can be resolved w/o changing bldg. - Send  
Sketch to Mahan... Toilet room issue still  
to be resolved ... Told Alan that Sep Permit  
(10/T2.MEMO) would be reqd with retaining wall details...



Control # 88-2617  
10117

Site Address 6450 Southcenter Blvd. Suite#          Floor# 1  
Project Name/Tenant Royal Coachman Office Bldg. Parcel A 000320-0011-00  
Valuation of Construction \$450,000 <sup>619,005</sup> Assessors Account# Parcel B 000320-0012-09  
Property Owner Bruce W. Solly Development Co. Inc. Phone           
Address 8009 S. 180th Suite 104, Kent, Wa. 98032 Zip           
Applicant David Kehle, Architect Phone 433-8997  
Address 12070 Interurban Ave. S., Seattle, Wa. Zip 98168  
Architect/Engineer Same as Applicant Phone           
Address          Zip           
Contractor None Chosen Yet License#          Phone           
Address          Zip           
Class of Work: ☒ New ☐ Addition ☐ Tenant Improvement ☐ Remodel (residential) ☐ Reroof  
☐ Demolition ☐ Interior Demolition ☐ Other           
Describe work to be done Construction of a new 1-story office bldg., B-2  
occupancy, V-N sprinklered, concrete tilt-up construction  
Type of Const. (UBC) VN sprink. Occ. Group (UBC) B-2  
Square footage of entire building 14,700 Square footage of tenant space 0  
Building Use office Will there be a change of use? ☐ Yes ☒ No  
If yes, describe change of use, including square footages of changed areas

Will there be storage or use of flammable, combustible or hazardous materials on the premise or area of construction? ☐ Yes ☒ No If yes, explain

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT AND THAT I HAVE THE PROPERTY OWNER'S AUTHORIZATION TO DO THIS WORK.

Applicant/Authorized Agent (signature) Alan Bylsma Date 8/19/00  
(print name) Alan Bylsma  
Contact Person (please print) Alan Bylsma Phone 433-8997

<b>FEES:</b>	Building Permit Fee	(000/322.100)	\$	<u>2398.00</u>	Receipt#	<u>6210</u>	Date Paid	<u>11-4-88</u>
	Plan Check Fee	(000/345.830)		<u>1559.00</u>	Receipt#	<u>4964</u>	Date Paid	<u>8/23/88</u>
	Bldg Code Sur Charge	(000/386.904)		<u>3.50</u>	Receipt#	<u>6210</u>	Date Paid	<u>11-4-88</u>
	Energy Sur Charge*	(000/386.907)		<u>15.00</u>	Receipt#	<u>6210</u>	Date Paid	<u>11-4-88</u>
	Other _____	( )			Receipt#		Date Paid	
				<u>3975.50</u>	(OWES: \$ <u>2416.50</u> )			
*New construction only			TOTAL					

## SQUARE FOOTAGE/BUILDING USE INFORMATION

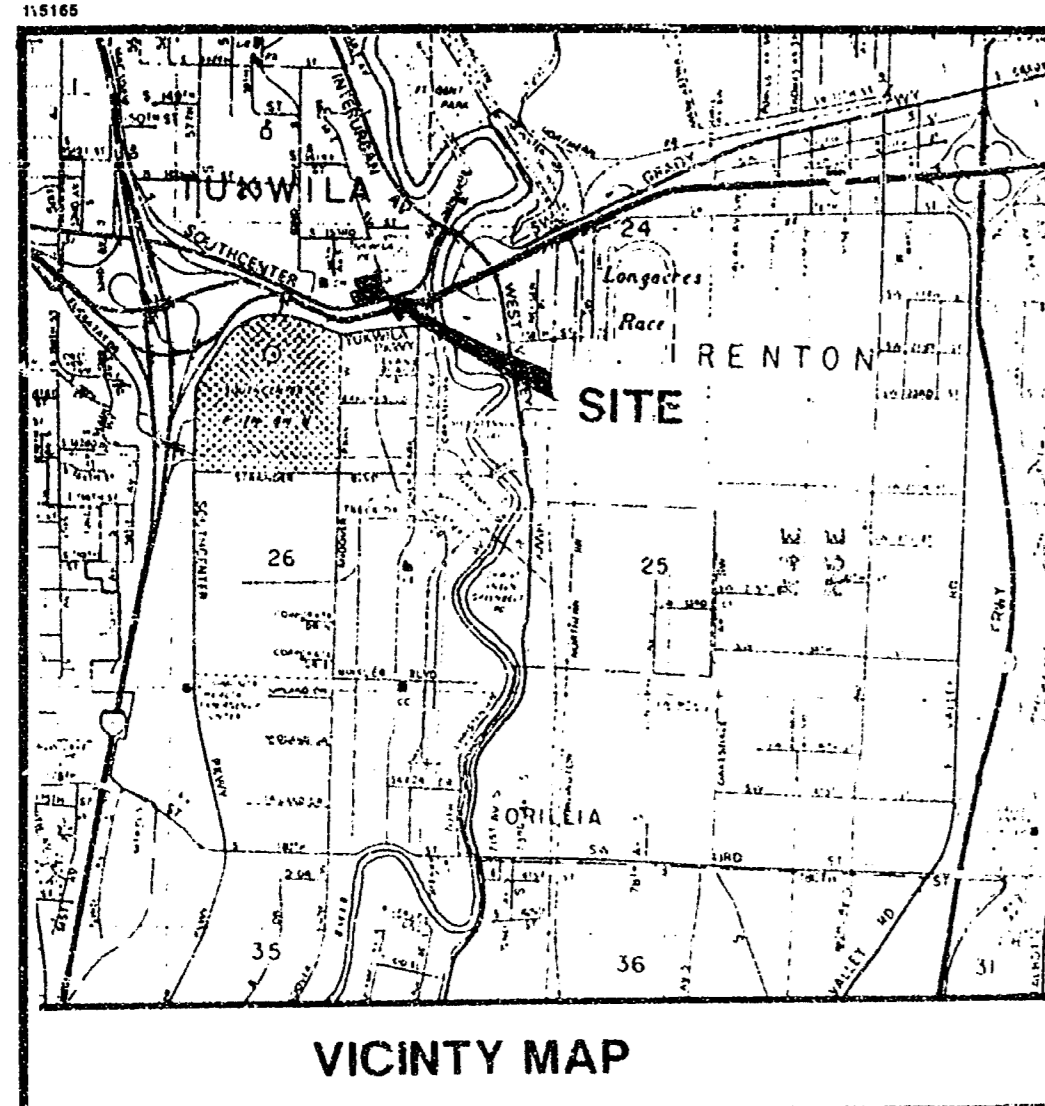
**Square Footage of Entire Building:**

[illegible]

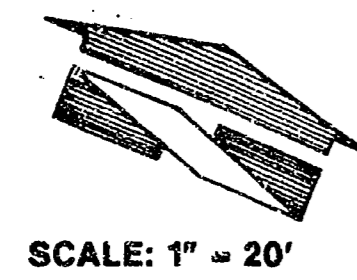
## TRACKING

DEPT.	DATE IN	DATE OUT	COMMENTS
BLDG	8-24-88	8-29-88	Approved for Issuance <u>AB</u> Type of Const. _____
FIRE	9-9-88	9-13-88	To Mahan: _____ Date Approved: <u>11-2-88</u> Approved (Initials) <u>AB</u> Per letter dated <u>9-15-88</u> <u>572</u> Fire Protection: <input checked="" type="checkbox"/> Sprinklers <input type="checkbox"/> Detectors <u>572</u>
PLNG	9/16/88 Required revision Received 10/12/88	10/13/88	Approved (Initials) <u>in</u> <input type="checkbox"/> BAR <input type="checkbox"/> LAND USE/SEPA CONDITIONS Zoning <u>P-O</u> Setbacks: N _____ S _____ E _____ W _____ Parking stalls required for: Site _____ Tenant Space _____ Parking stalls provided: Site _____ Tenant Space _____ ADDITIONAL PARKING STALLS REQUIRED: <u>0</u>
PWD	10/17	10/21/88	Approved (Initials) <u>AB</u> Per letter/plans dated <u>10/11/88</u> <u>utility plans Routed to PWD 8-24-88</u>





VICINTY MAP



SCALE: 1" = 20'

# LEGAL DESCRIPTION

## PARCEL "A"

That portion of the Wm. H. Gilliam Donation Claim No. 40 in Township 22 North, Range 4 East, W.M., in King County, Washington, lying Northerly of the Renton Three Point Road, and lying Southerly and Southeasterly of Macadam Road and lying Westerly of 65th Avenue South as conveyed to the City of Tukwila by Deed recorded under Auditor's File No. 7105100426.

TOGETHER WITH that portion of vacated Macadam Road adjoining as vacated by City of Tukwila Ordinance No. 671, recorded under Auditor's File No. 7108120429, and vacated by City of Tukwila Ordinance No. 1129, recording No. 7910180588.

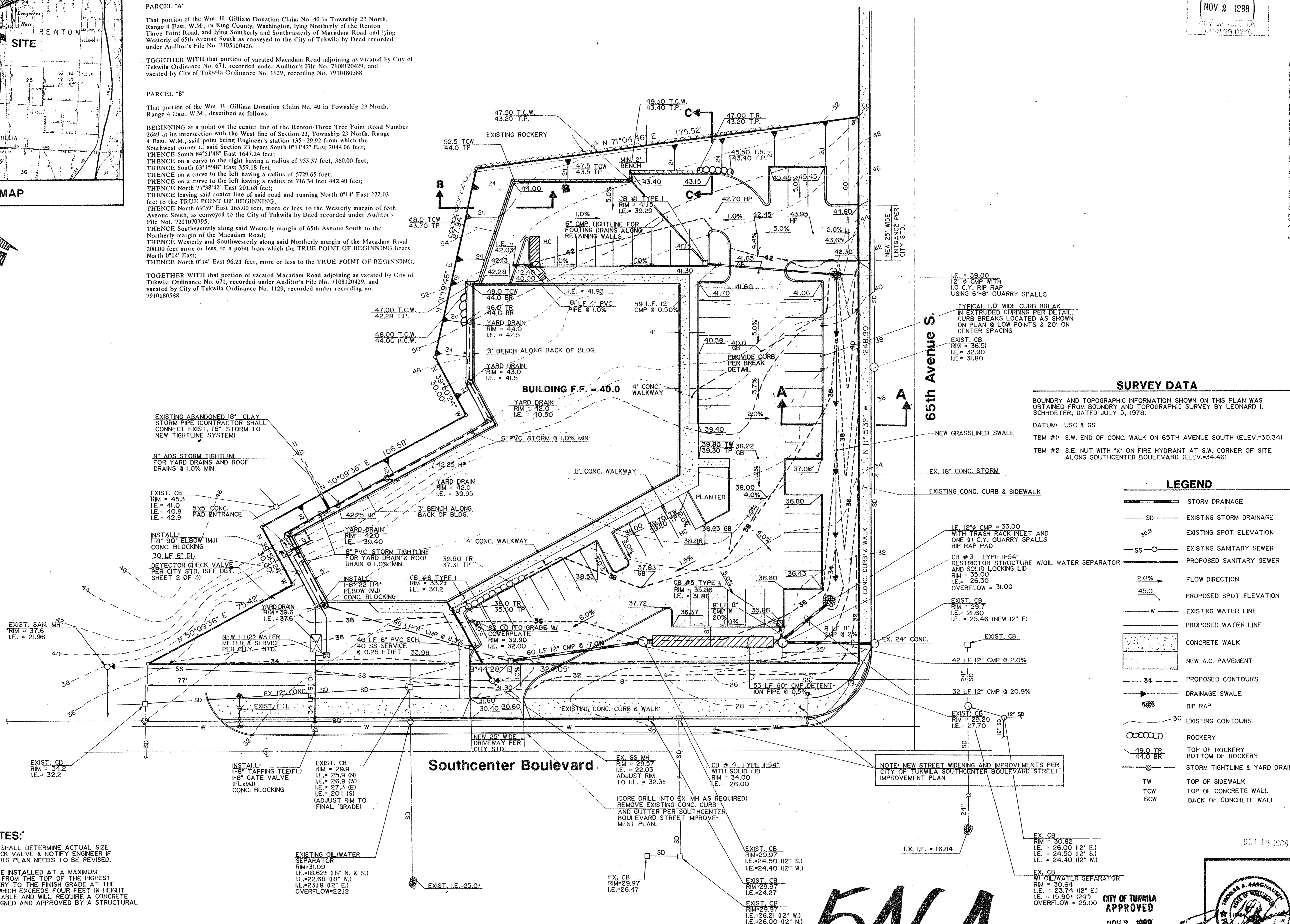
## PARCEL "B"

That portion of the Wm. H. Gilliam Donation Claim No. 40 in Township 23 North, Range 4 East, W.M., described as follows:

BEGINNING at a point on the center line of the Renton-Three Tree Point Road Number 2649 at its intersection with the West line of Section 23, Township 23 North, Range 4 East, W.M., said point being Engineer's station 135+29.92 from which the Southwest corner C, said Section 23 bears South 0°11'42" East 2044.06 feet; THENCE South 84°51'48" East 1647.24 feet; THENCE on a curve to the right having a radius of 955.37 feet, 360.00 feet; THENCE South 63°15'48" East 359.18 feet; THENCE on a curve to the left having a radius of 5729.65 feet; THENCE on a curve to the left having a radius of 716.34 feet 442.40 feet; THENCE North 77°38'42" East 201.68 feet; THENCE leaving said center line of said road and running North 0°14' East 272.03 feet to the TRUE POINT OF BEGINNING; THENCE North 69°39' East 165.00 feet, more or less, to the Westerly margin of 65th Avenue South, as conveyed to the City of Tukwila by Deed recorded under Auditor's File No. 7201070395; THENCE Southeasterly along said Westerly margin of 65th Avenue South to the Northerly margin of the Macadam Road; THENCE Westerly and Southwesterly along said Northerly margin of the Macadam Road 200.00 feet more or less, to a point from which the TRUE POINT OF BEGINNING bears North 0°14' East; THENCE North 0°14' East 96.21 feet, more or less to the TRUE POINT OF BEGINNING.

TOGETHER WITH that portion of vacated Macadam Road adjoining as vacated by City of Tukwila Ordinance No. 671, recorded under Auditor's File No. 7108120429, and vacated by City of Tukwila Ordinance No. 1129, recorded under recording No. 7910180588.

# GRADING, STORM DRAINAGE & UTILITY PLAN



NOV 2 1988

## SURVEY DATA

BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS OBTAINED FROM BOUNDARY AND TOPOGRAPHIC SURVEY BY LEONARD I. SCHROETER, DATED JULY 5, 1978.

DATUM: USC & GS

TBM #1: S.W. END OF CONC. WALK ON 65TH AVENUE SOUTH (ELEV. 30.34)

TBM #2: S.E. NUT WITH "X" ON FIRE HYDRANT AT S.W. CORNER OF SITE ALONG SOUTHCENTER BOULEVARD (ELEV. 34.45)

Title: Grading and Storm Drainage Utility Plan

Royal Coachman

For Solly Development Company  
809 S. 180th, Suite 104  
Kent, WA 98032  
(206) 251-5000

**Barghausen Consulting Engineers Inc.**  
Land Planning, Survey & Engineering Specialists  
18215 72nd Ave South, Kent, Wash. 98032 (206) 251-6222

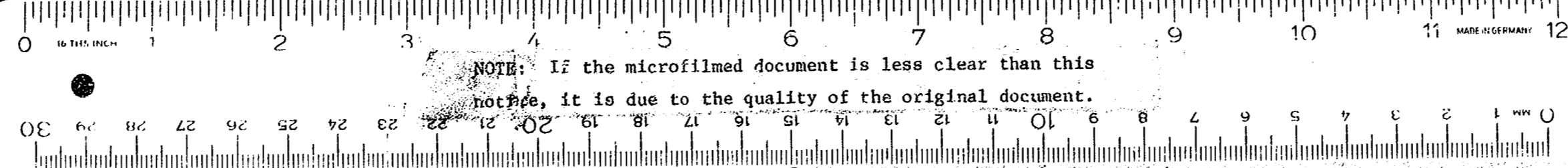
Job Number 2819  
Sheet 1 of 3



CITY OF TUKWILA  
APPROVED  
NOV 2 1988  
BUILDING DIVISION

5464

24x



24x

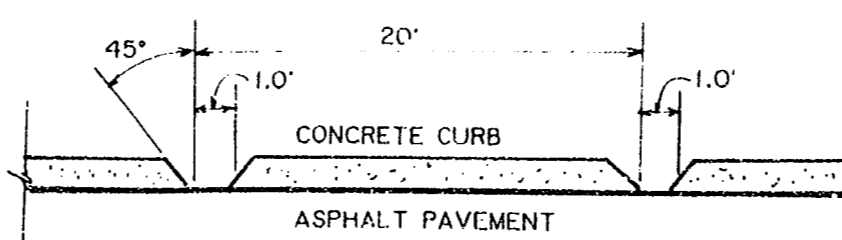
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH "STANDARD SPECIFICATIONS FOR MUNICIPAL PUBLIC WORKS CONSTRUCTION" PREPARED BY WASHINGTON STATE CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION, 1981 EDITION (APWA) AND CITY OF TUKWILA STANDARDS AND SPECIFICATIONS.

- WATER NOTES:

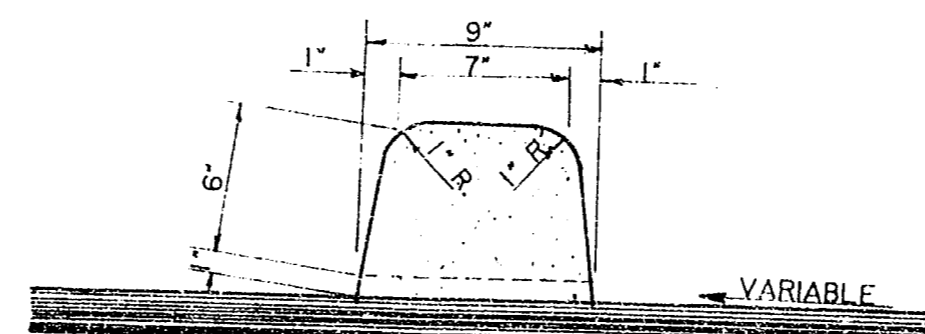
1. All water lines shall be constructed in accordance with the City of Tukwila Standard Specifications.
2. Minimum cover for water mains shall be three feet.
3. All water lines shall be cement-lined, ductile iron, Class 52.
4. All fittings shall be cast iron or ductile, with flanged or mechanical joint connection, and be of the same thickness class as the pipe used.
5. All water line, service lines, and fire lines shall be tested in accordance with the City of Tukwila Standards.
6. Fire hydrants shall be constructed per Standard Detail W-3.
7. Wet tap to existing water main shall be coordinated with City at least 48 hours prior to construction.
8. All water meters and service lines shall be installed per City of Tukwila Standards and Specifications.
9. All pipe fittings and valves to be listed and labeled by U.L. for fire service, installed, tested and labeled as specified by NFPA Standards No. 13 and No. 24. Property completed contractor's material and test certificates are to be provided to Washington surveying and rating bureau and the City of Tukwila.

SANITARY SEWER NOTES

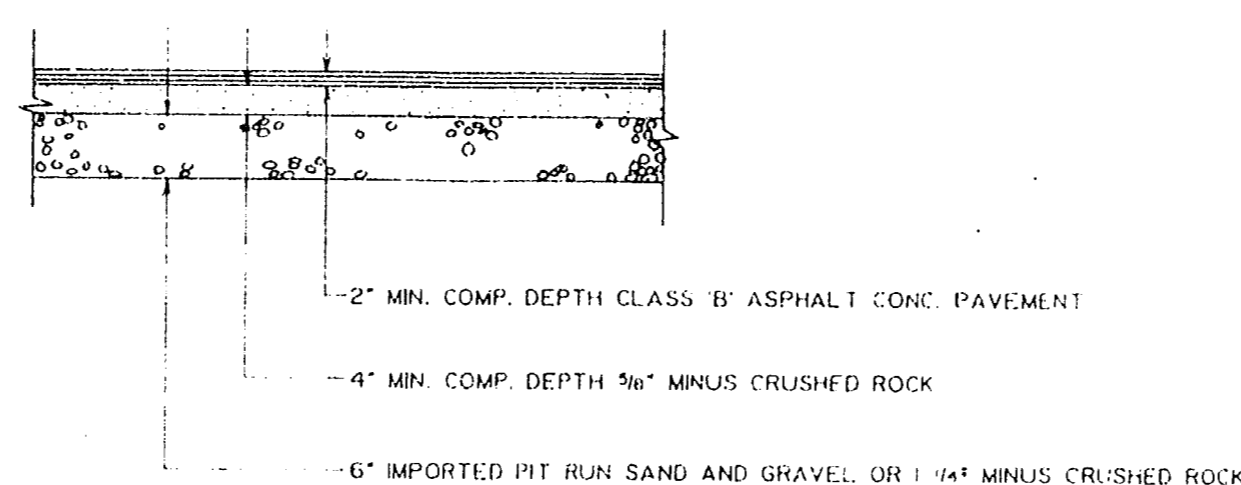
1. All sanitary sewer construction shall be in accordance with the Val-Verde Sewer District's Standard Specifications.
2. All pipe used for construction of side sewer shall conform to PVC SDR 45 and the requirements of ASTM D-3034-73.
3. Minimum slope for 6" side sewer shall be 2.0 percent.
4. Minimum depth of cover for 6" side sewer shall be 18".
5. All connections shall be made with ring tie joints.
6. Contractor shall obtain required side sewer permit from the Val-Verde Sewer District prior to construction.



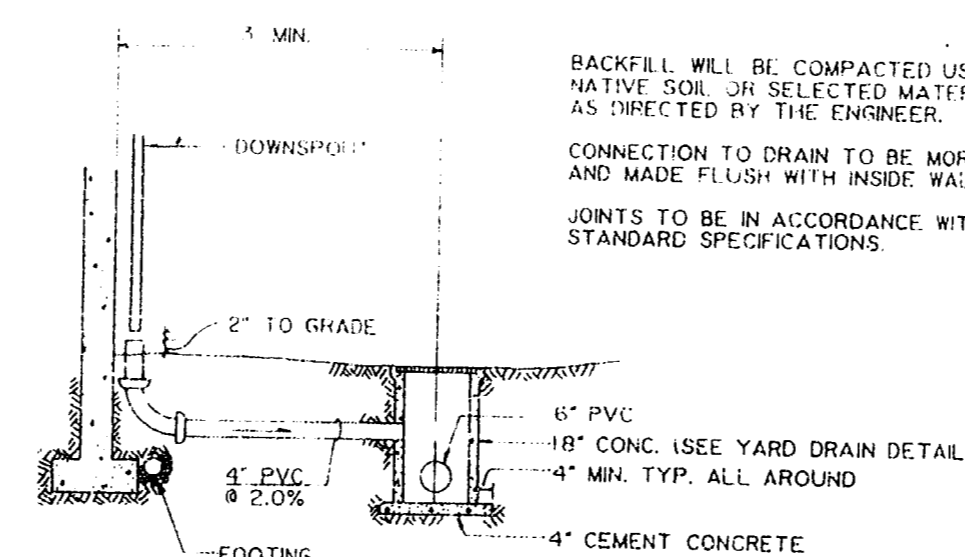
### CURB BREAK DETAIL



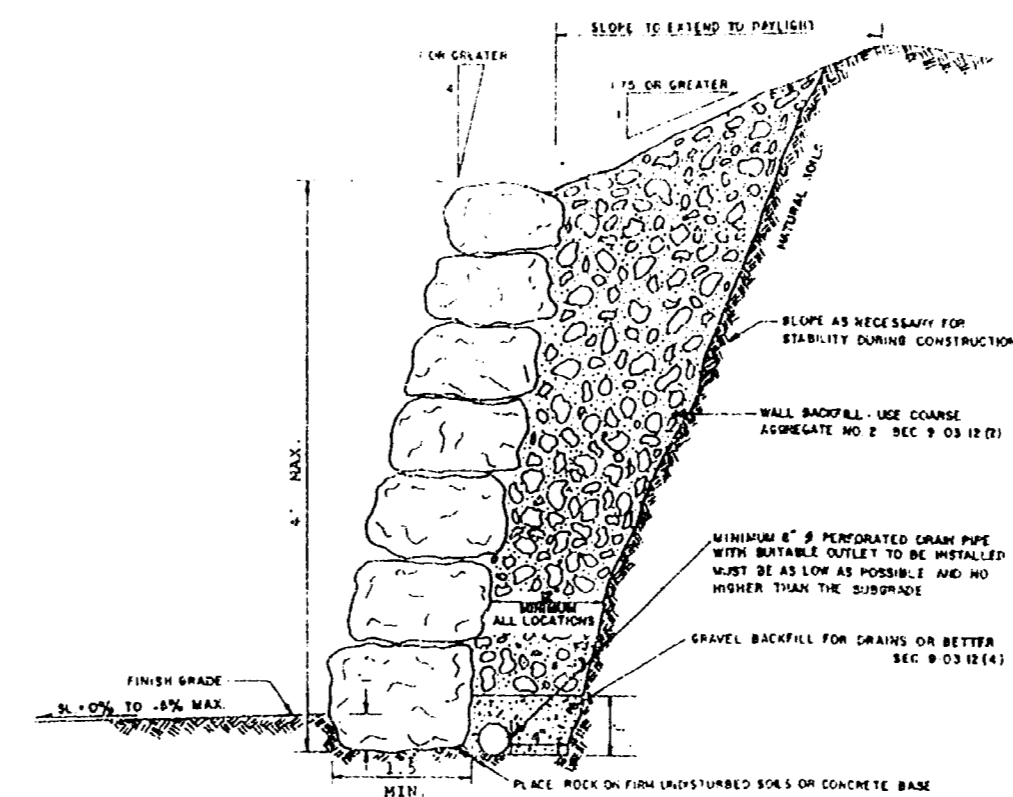
EXTRUDED CONCRETE CURB DETAIL



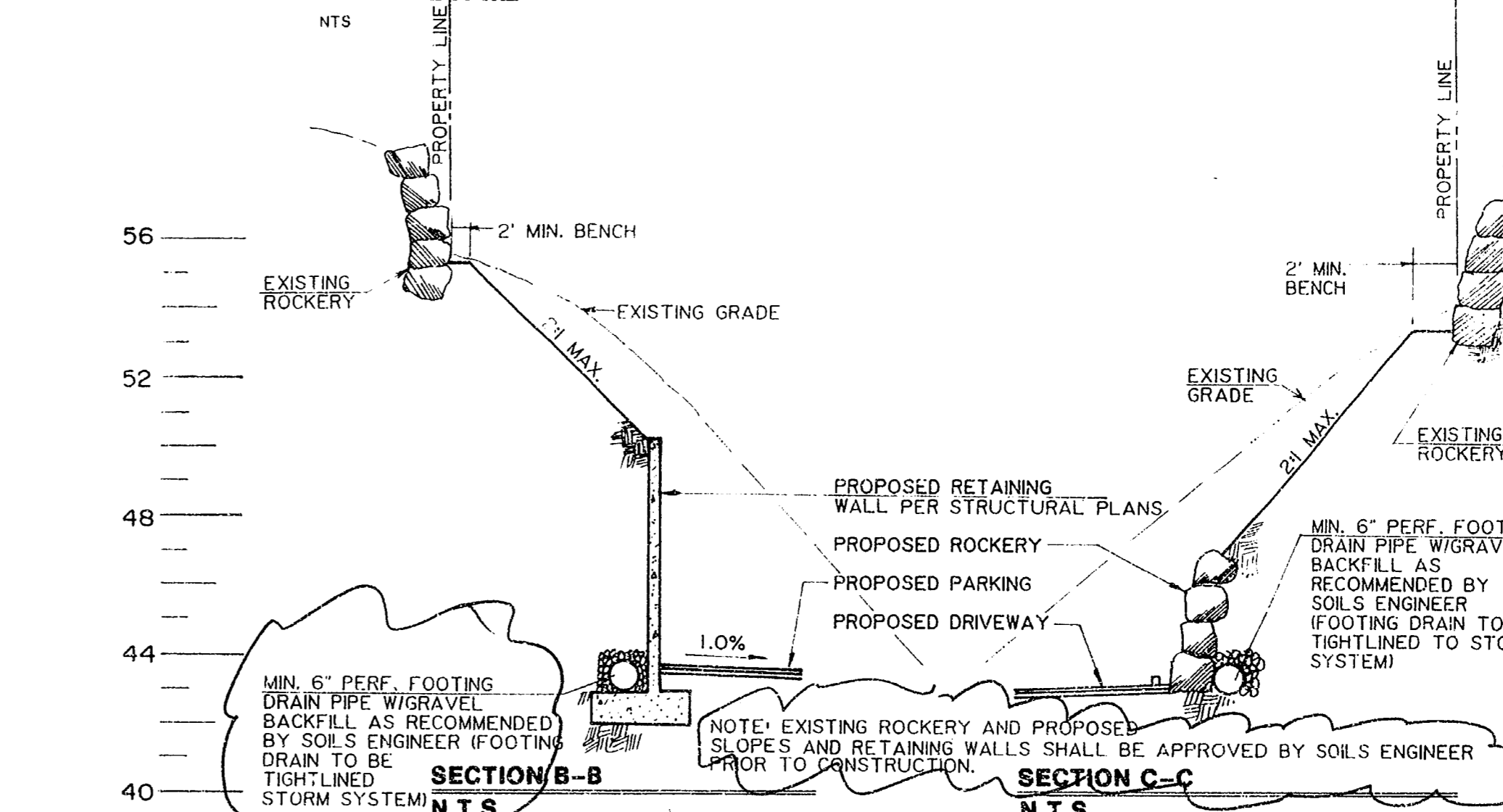
### TYPICAL PAVING SECTION



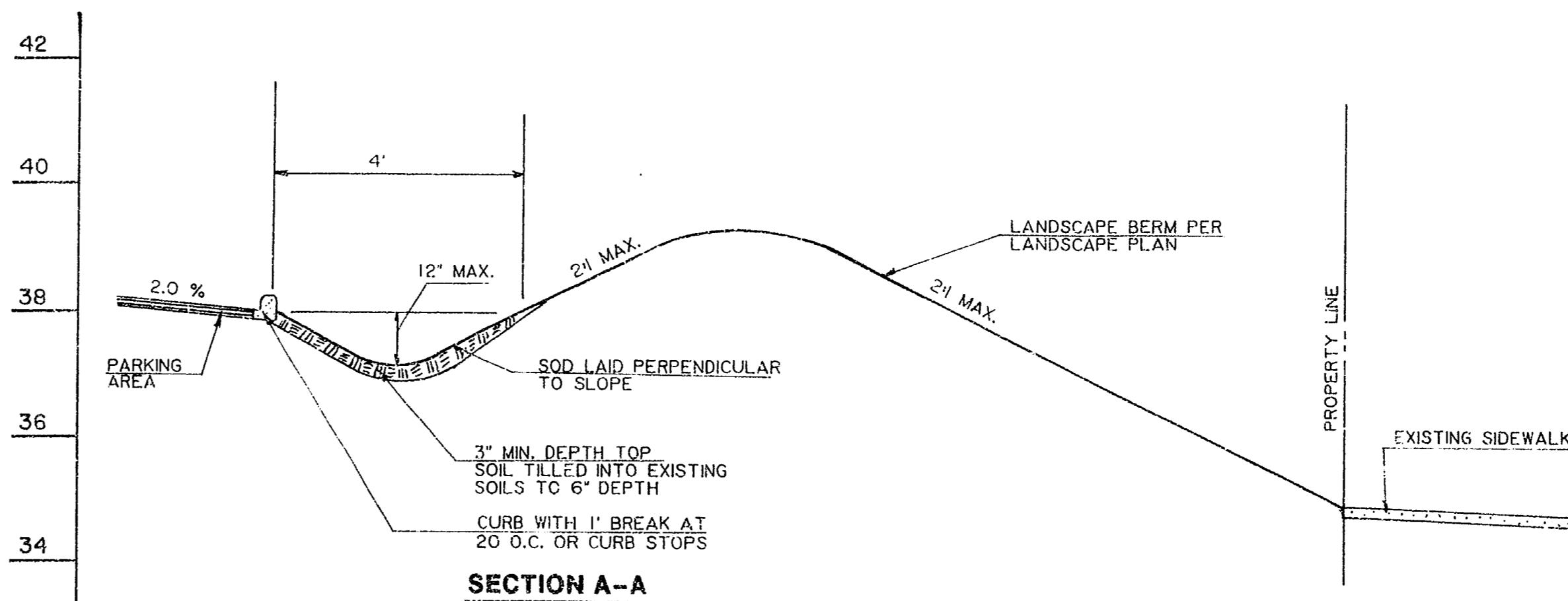
**DOWNSPOUT TIGHTLINE TO YARD DRAIN**



## ROCKWELL DETAIL



**PROFILE & SECTIONS OF PROPOSED  
RETAINING WALL & ROCKERY**  
**AS SHOWN**



CITY OF TUKWILA  
APPROVED  
NOV 2 1988  
AS NOTED  
BUILDING DIVISION



3. Appr.
Revision

# NOTES AND DETAILS

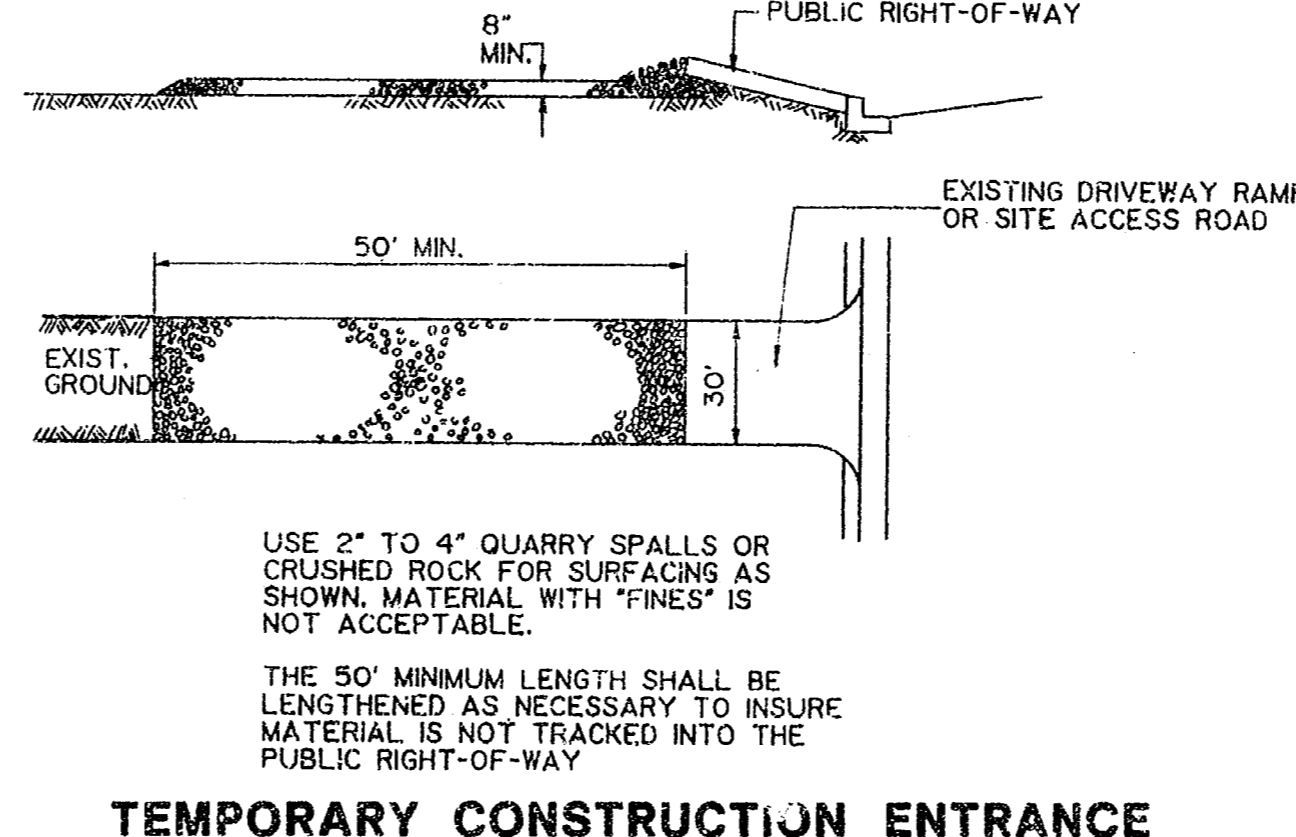
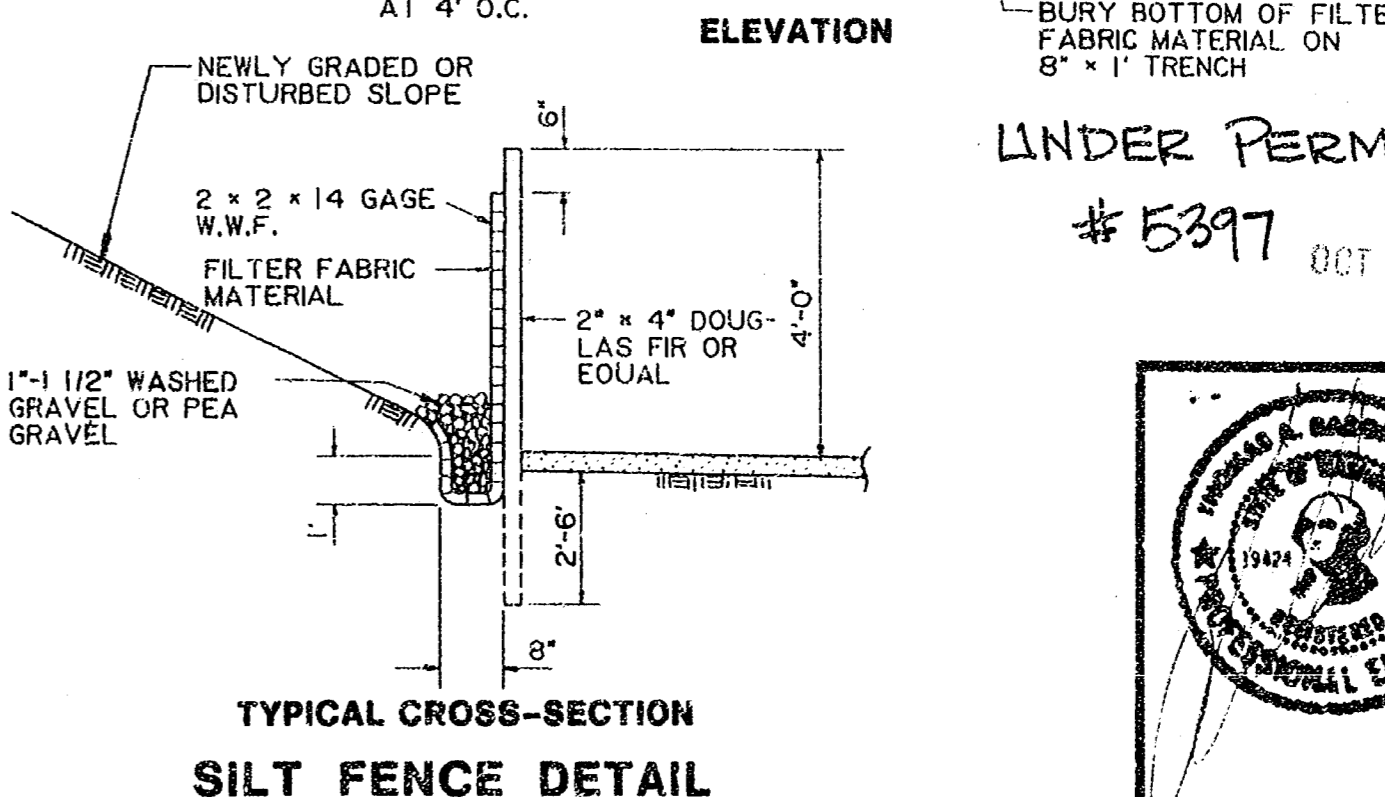
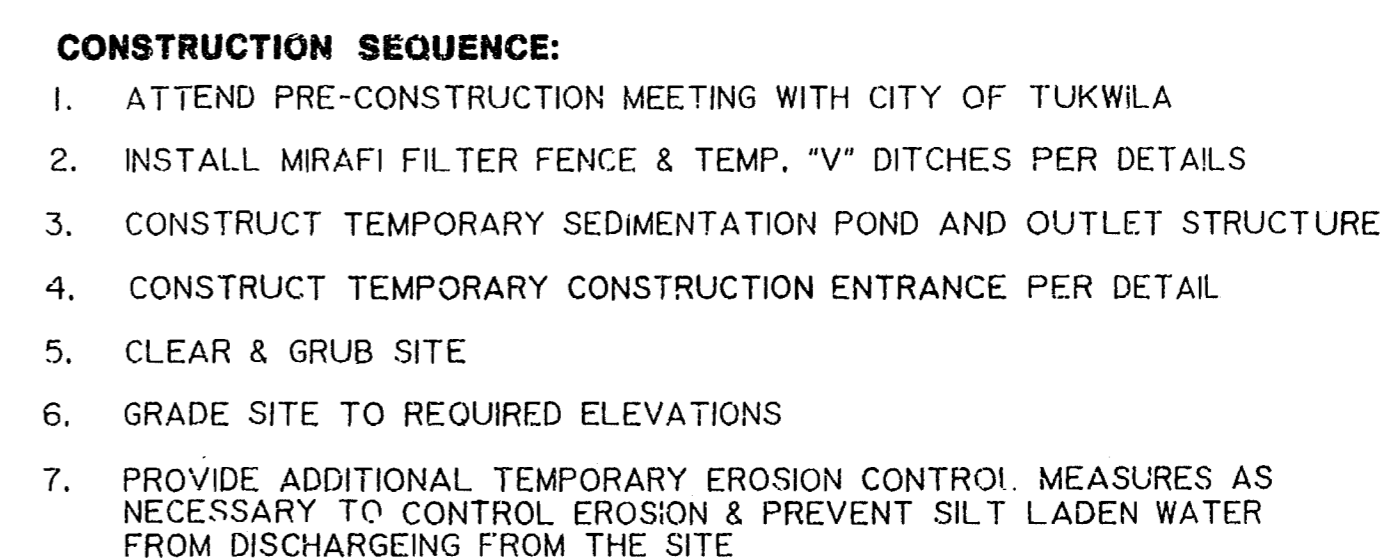
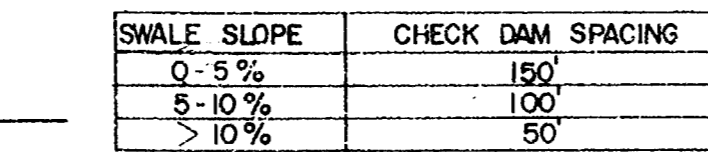
**Solly Development Company**  
8009 S. 180th, Suite 104  
Kent, Wa 98032  
(206) 251-5000

**Barghausen  
Consulting Engineers Inc.**  
Land Planning, Survey & Engineering Specialists  
18215 72nd Ave South Kent, Wash. 98032 (206) 251-6222

Job Number 2819 Sheet 2 of 3

 $24x$  $24x$

### TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN NOTES



Technical drawing of a retaining wall cross-section. The wall is 2 x 2 x 14 GAGE W.W.F. with a 1/2 inch thick FILTER FABRIC INTERLIN. The wall is 10 feet high. The top of the wall is labeled 'DISTURBED SLOPE'. The bottom of the wall is labeled 'UNDER PERMIT #5397 OCT 15'.

**Title :**  
**Temporary Erosion/Sedimentation  
Control Plan**  
**Southcenter Professional Building**

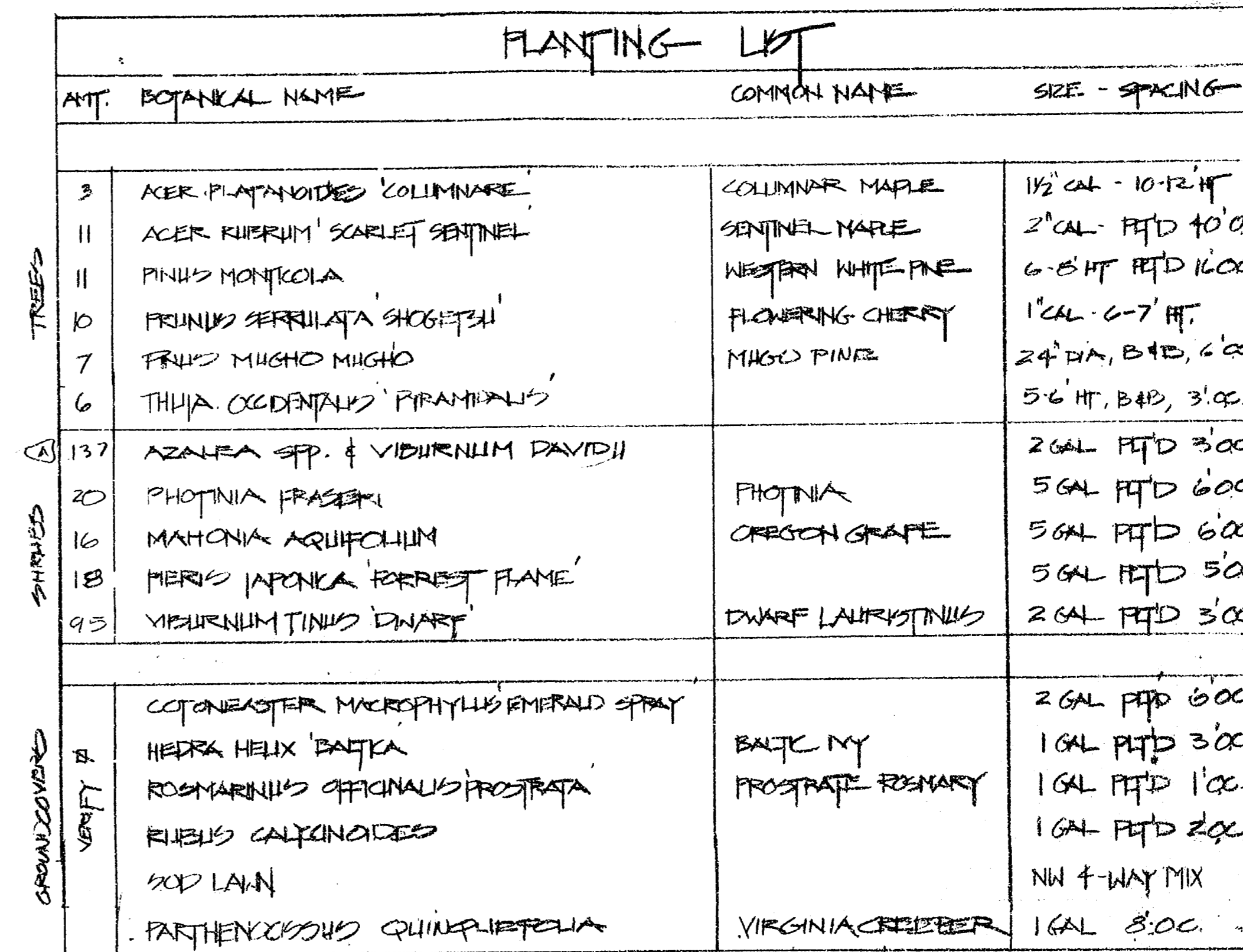
**For: Soilly Development Company**  
8009 S. 180th, Suite 104  
Kent, Wa 98032  
(206) 251-5000

**Barghausen  
Consulting Engineers Inc.**  
Land Planning, Survey & Engineering Specialists  
18215 72nd Ave South Kent, Wash. 98032 (206) 251-6222

Job Number  
**2819**

Sheet  
**3** of **3**

 $24x$  $24x$



5464

REGISTERED  
OCT 12 1988

FOR:  
66450 SOUTHCENTER BLVD.  
TUKWILA WASH.

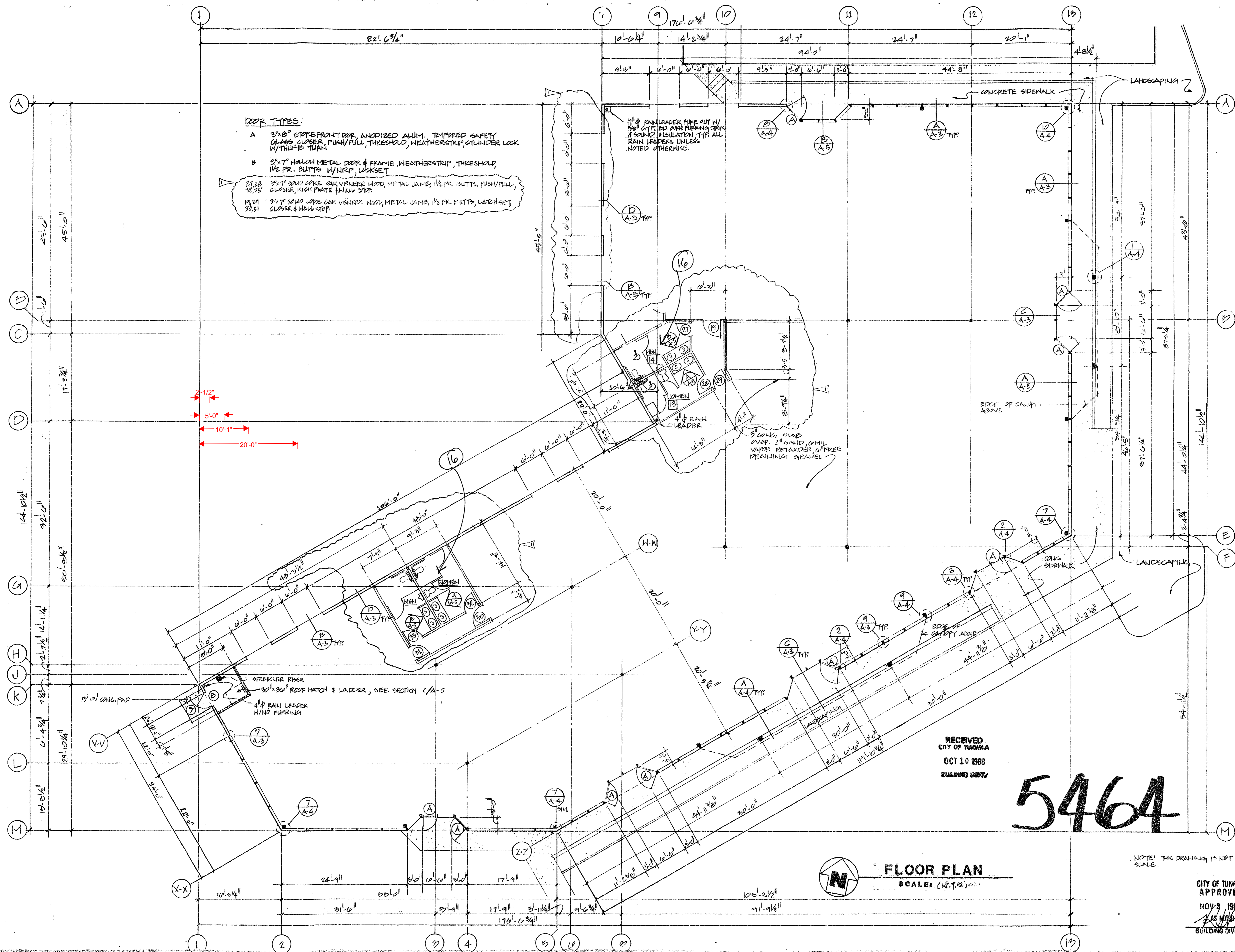
**INTEGRATED  
SITE  
DESIGN**  
3503 Phinney Avenue North  
Seattle, Washington 98103

Project no. 22  
date 3.21.86  
drawn by pkc  
checked by pkc

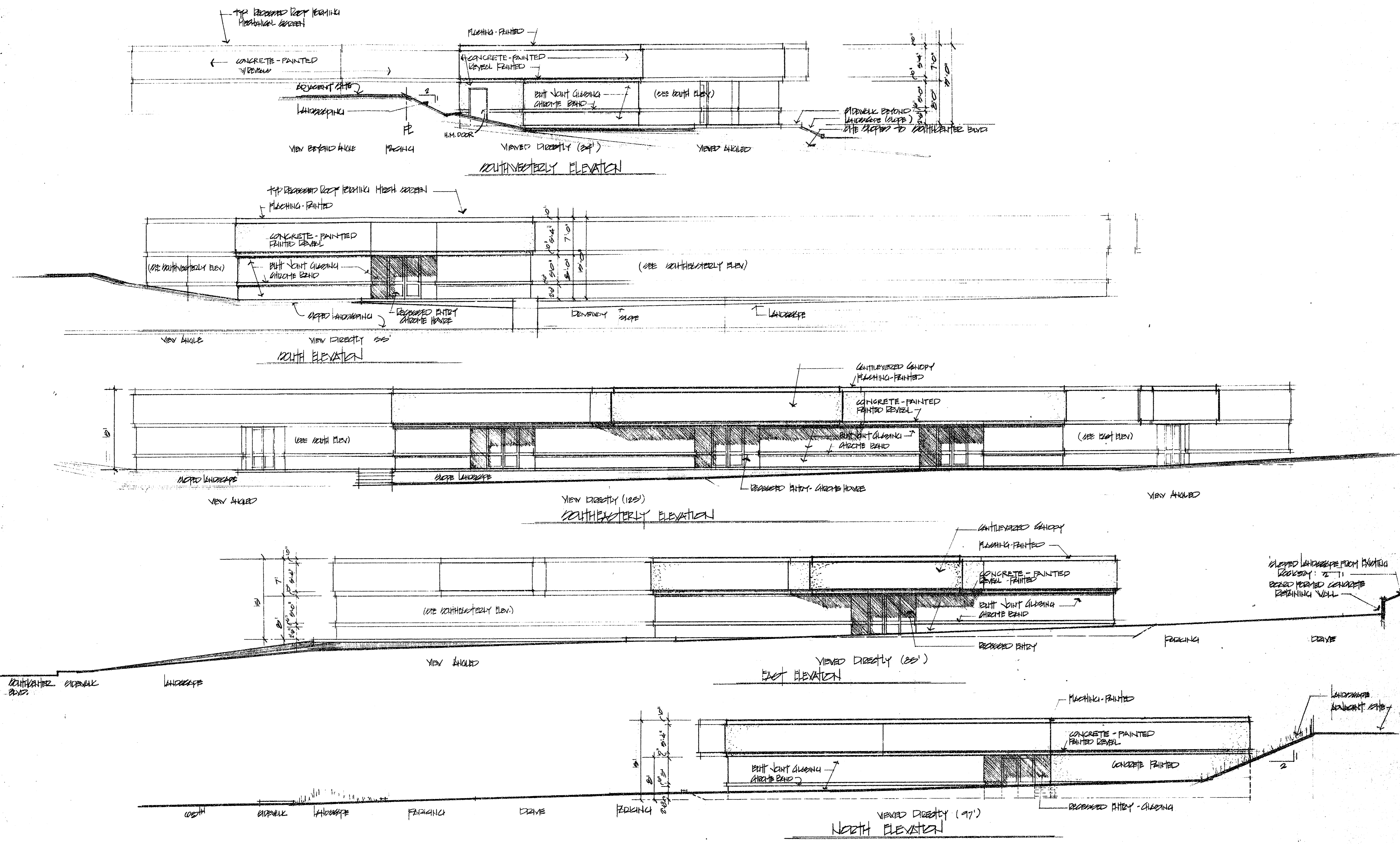
4:27:28 PER STAP  
PER DAY  
10:4:08 PERMS 10-4

OCT 12 1988

 $24x$  $24x$



PROJECT NO. 88-100		DATE: 10-1-88		DRAWN BY: J. K. K.		CHECKED BY: J. K. K.	
SUBMIT FOR PERMIT		PER BUILDING DEPT.		DATE: 10-1-88		BY: J. K. K.	
12878 INTERURBAN AVENUE SOUTH TUKWILA, WASHINGTON 98168 (206) 433-8897							
<b>PROPOSED NEW BUILDING</b> FOR: 6450 SOUTHCENTER BLVD. TUKWILA, WASH.							
<b>A-1</b>							



**david kehle, architect**  
 seattle, washington 98101  
 [208]

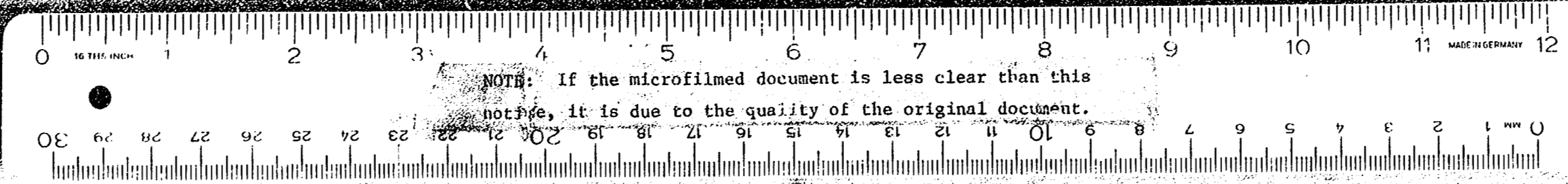
**PROPOSED NEW BUILDING**

FOR:  
 5450 SOUTHCENTER BLVD.  
 TUKWILA, WASH.

**RECEIVED**  
 CITY OF TUKWILA  
 AUG 23 1988  
 BUILDING DEPT.

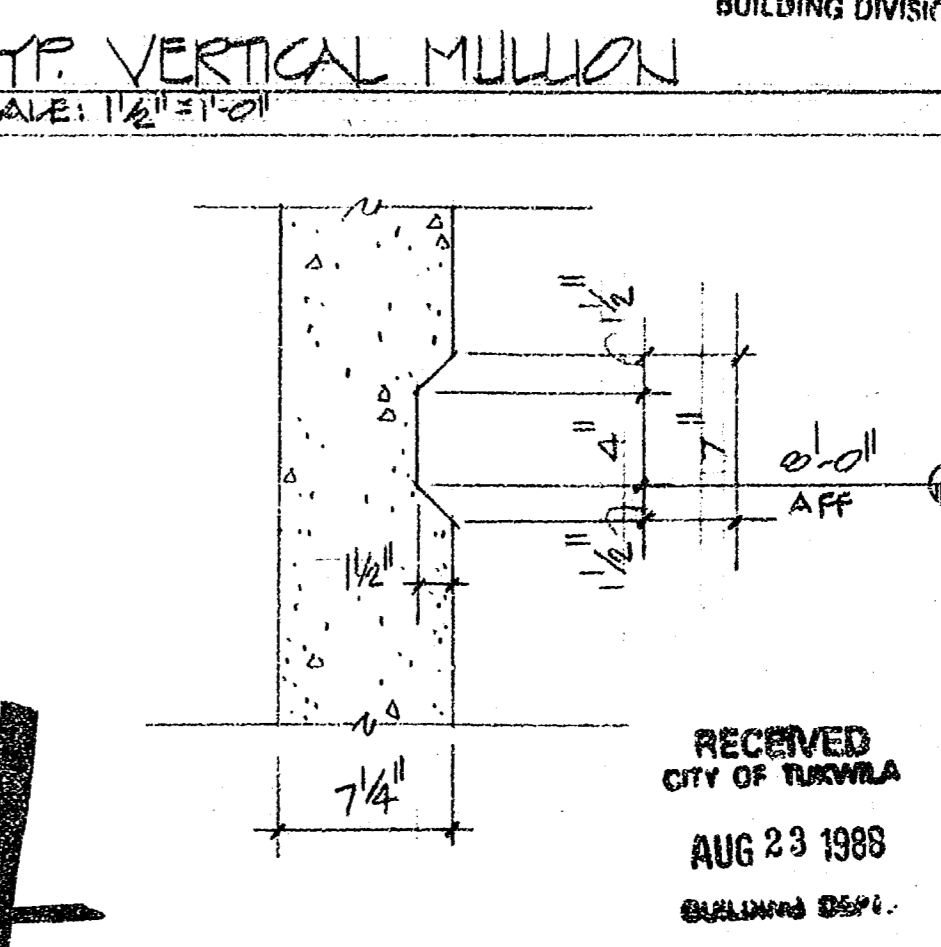
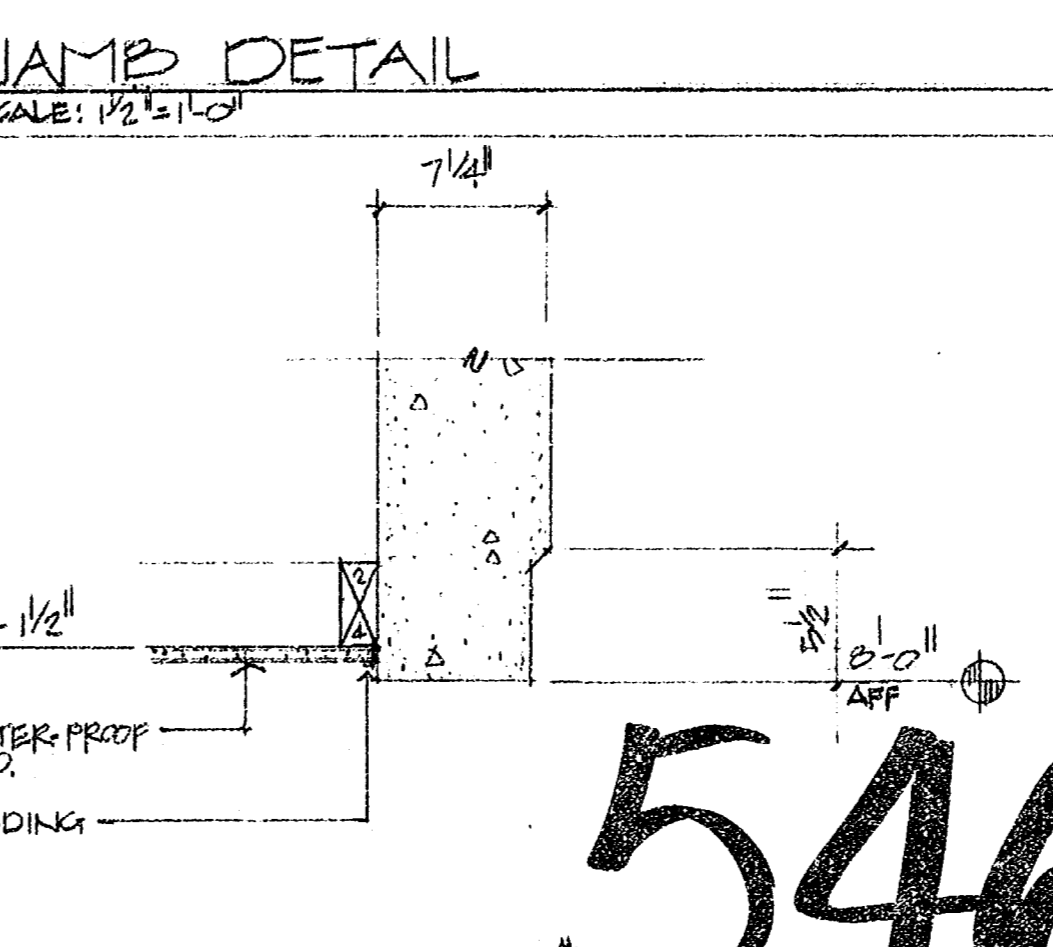
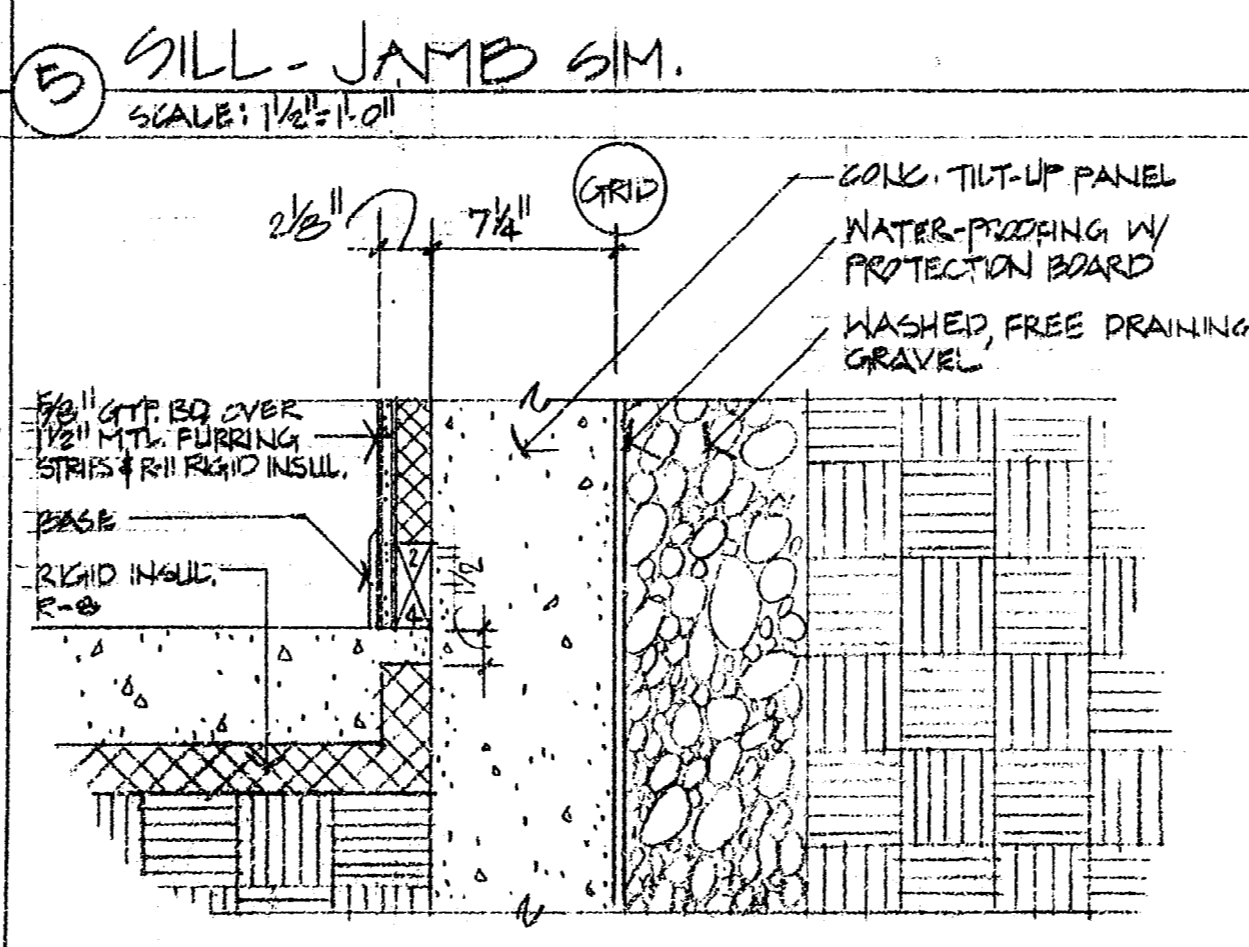
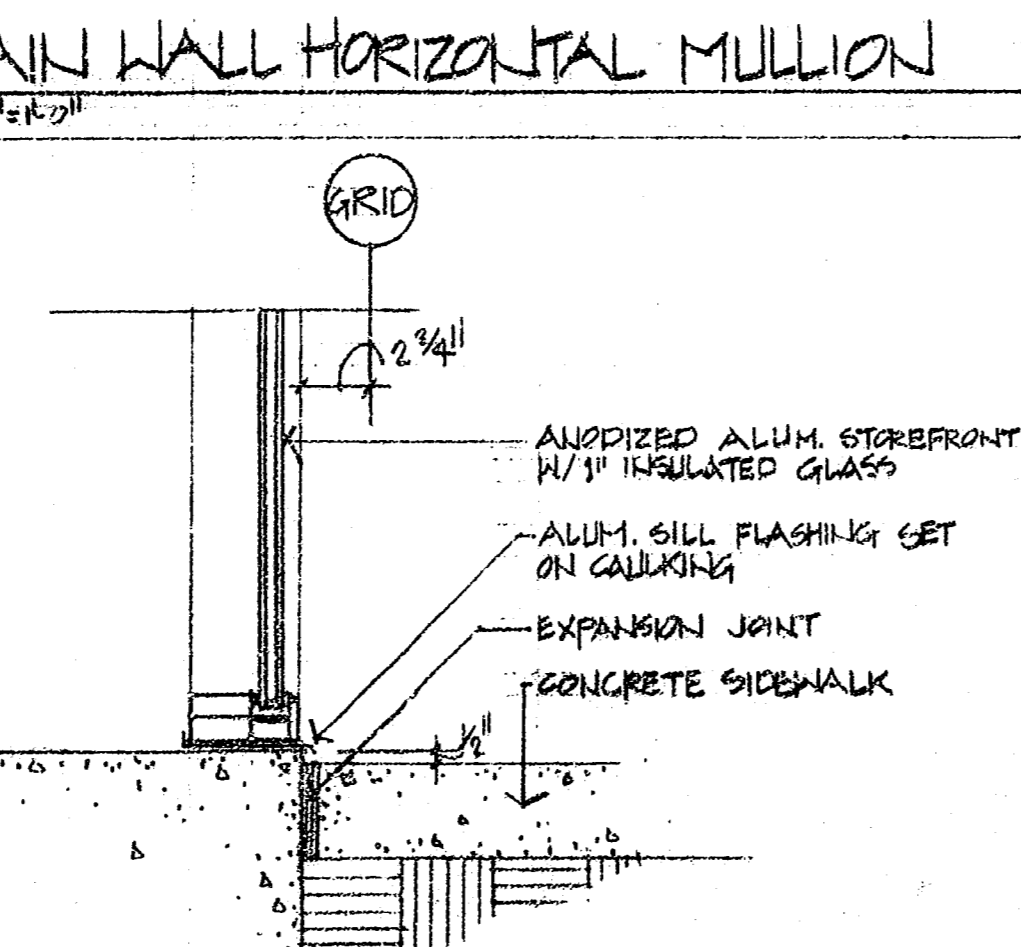
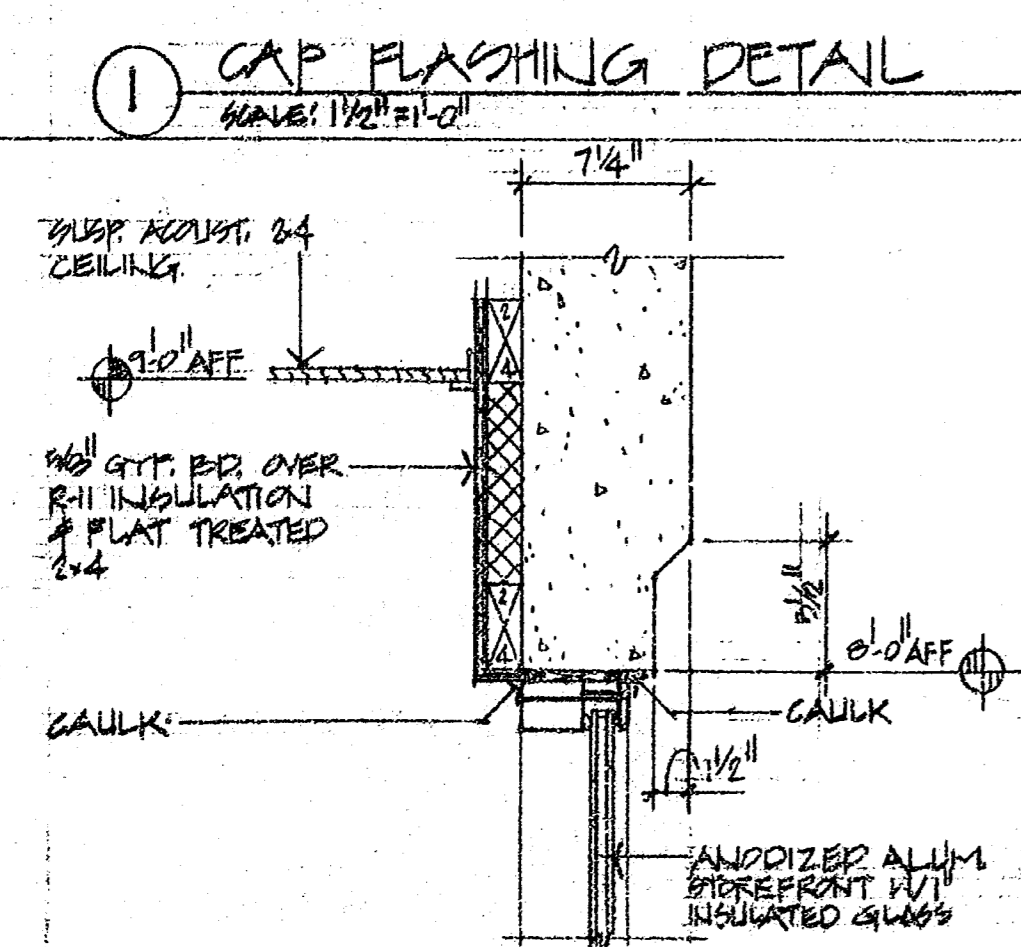
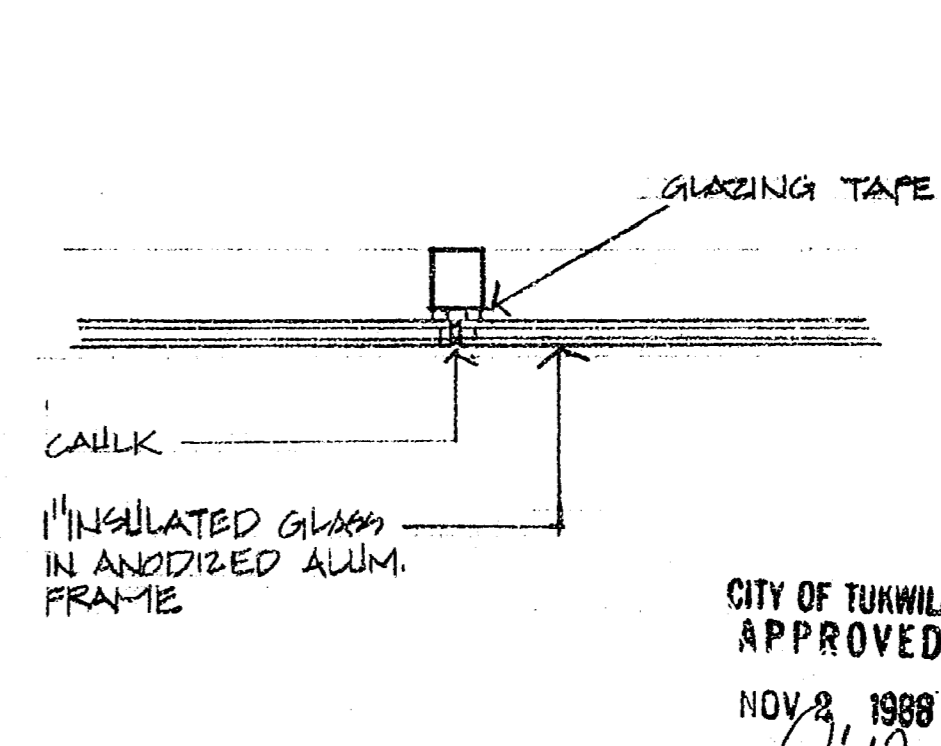
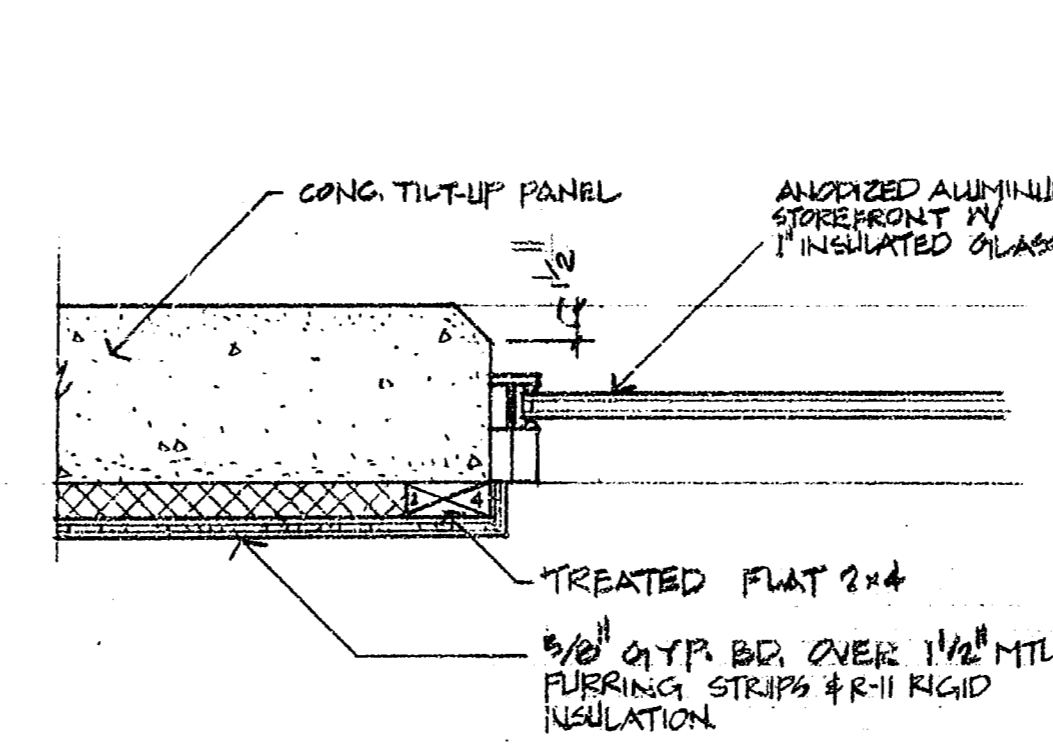
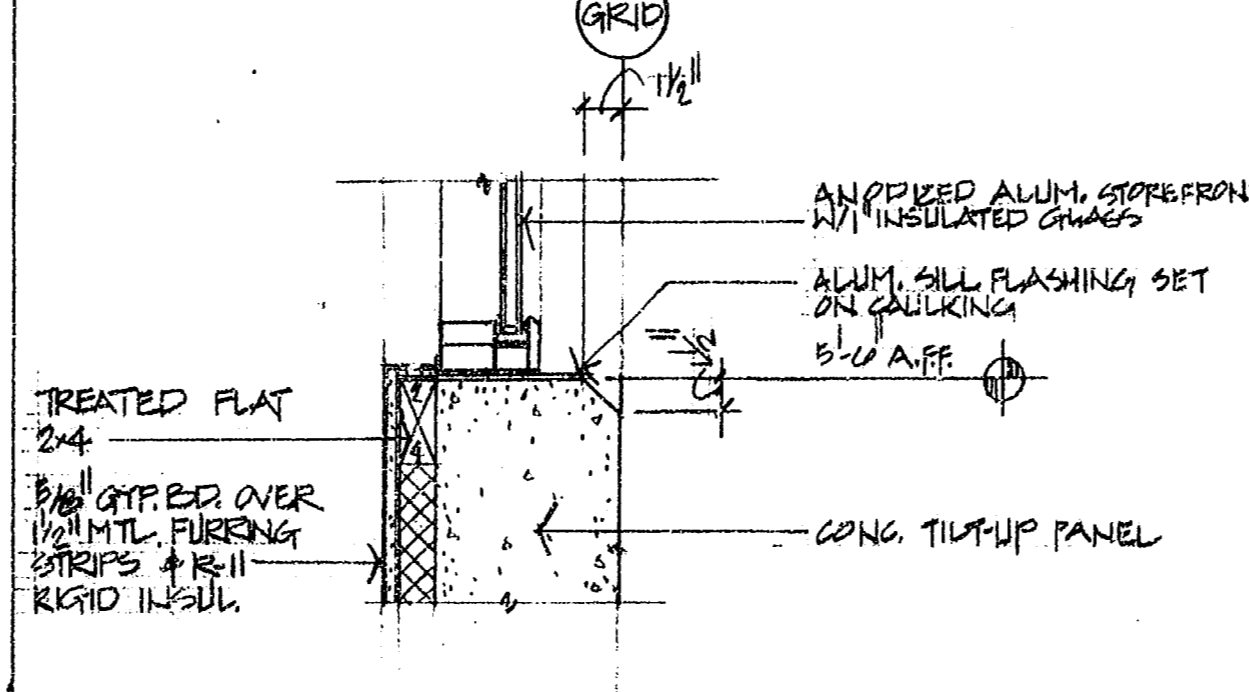
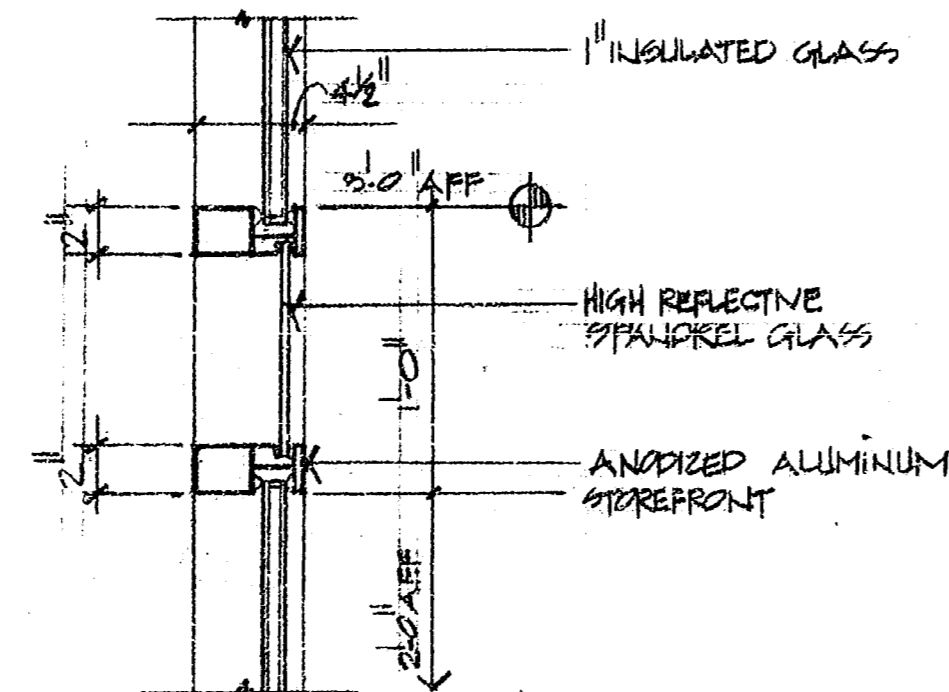
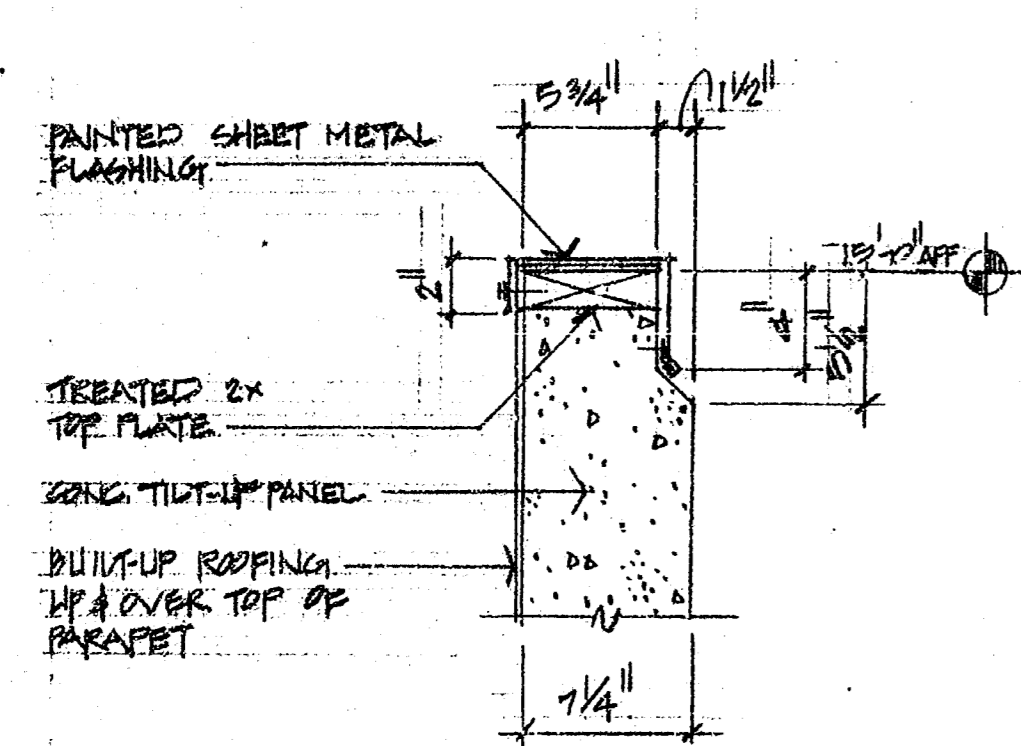
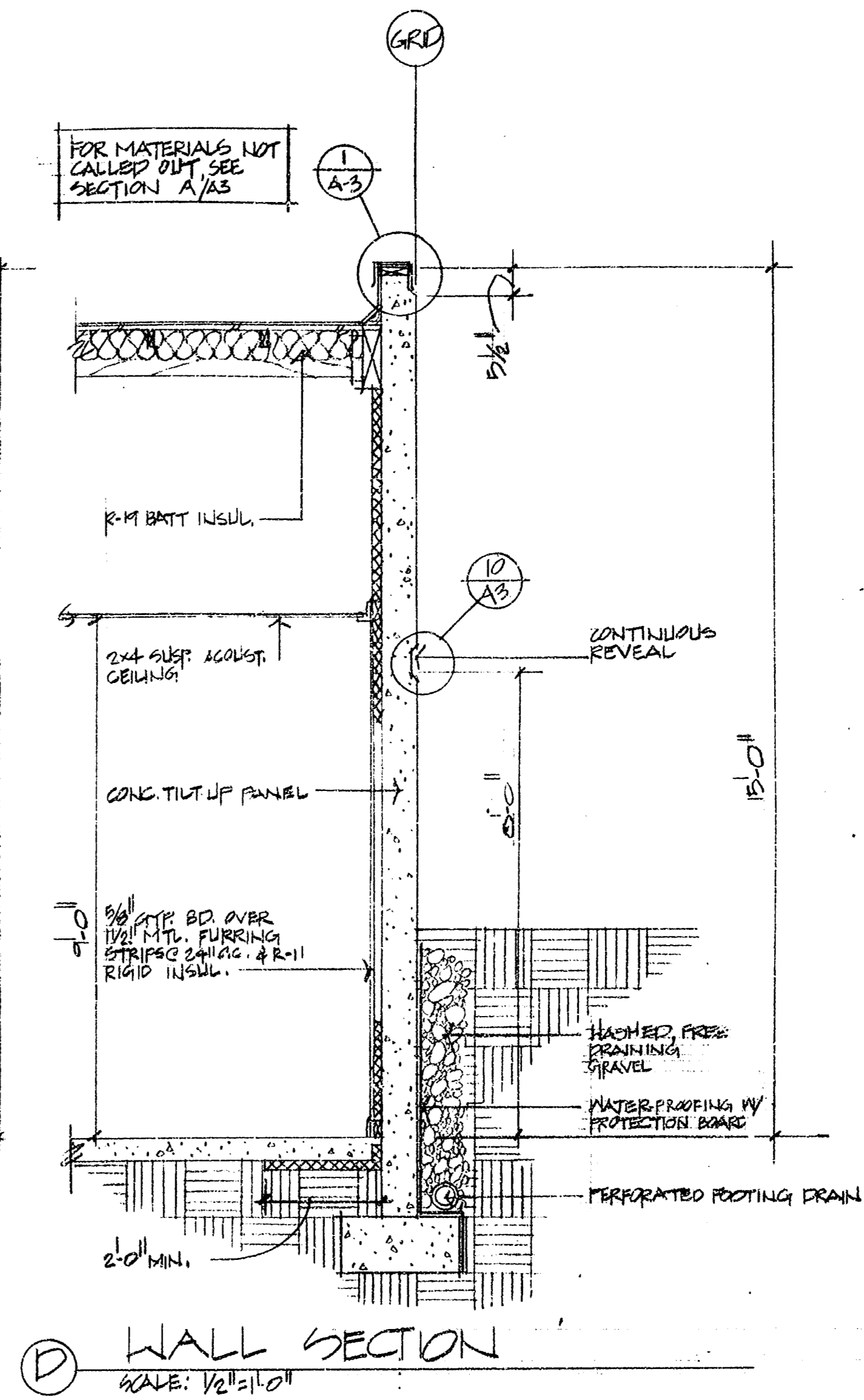
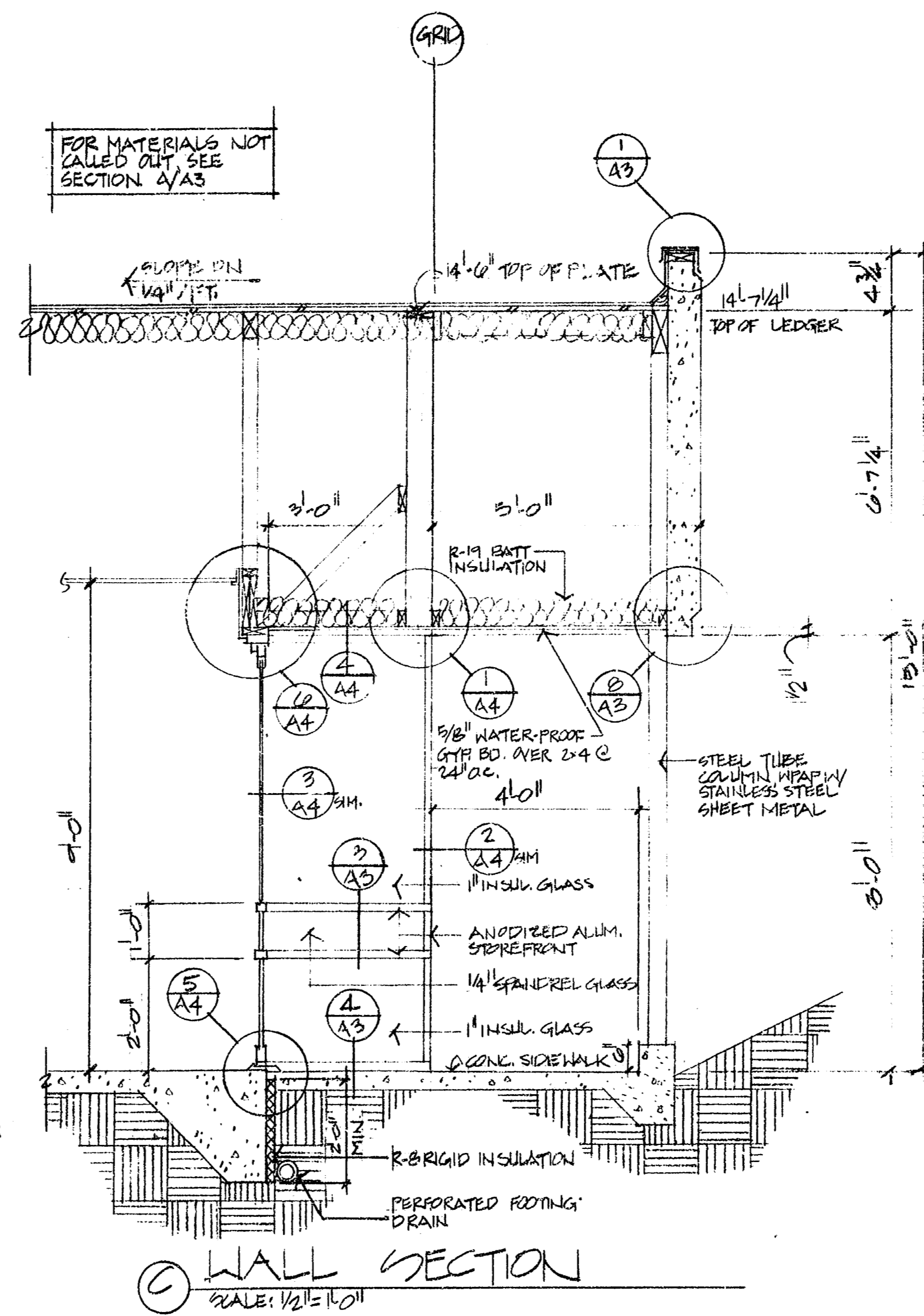
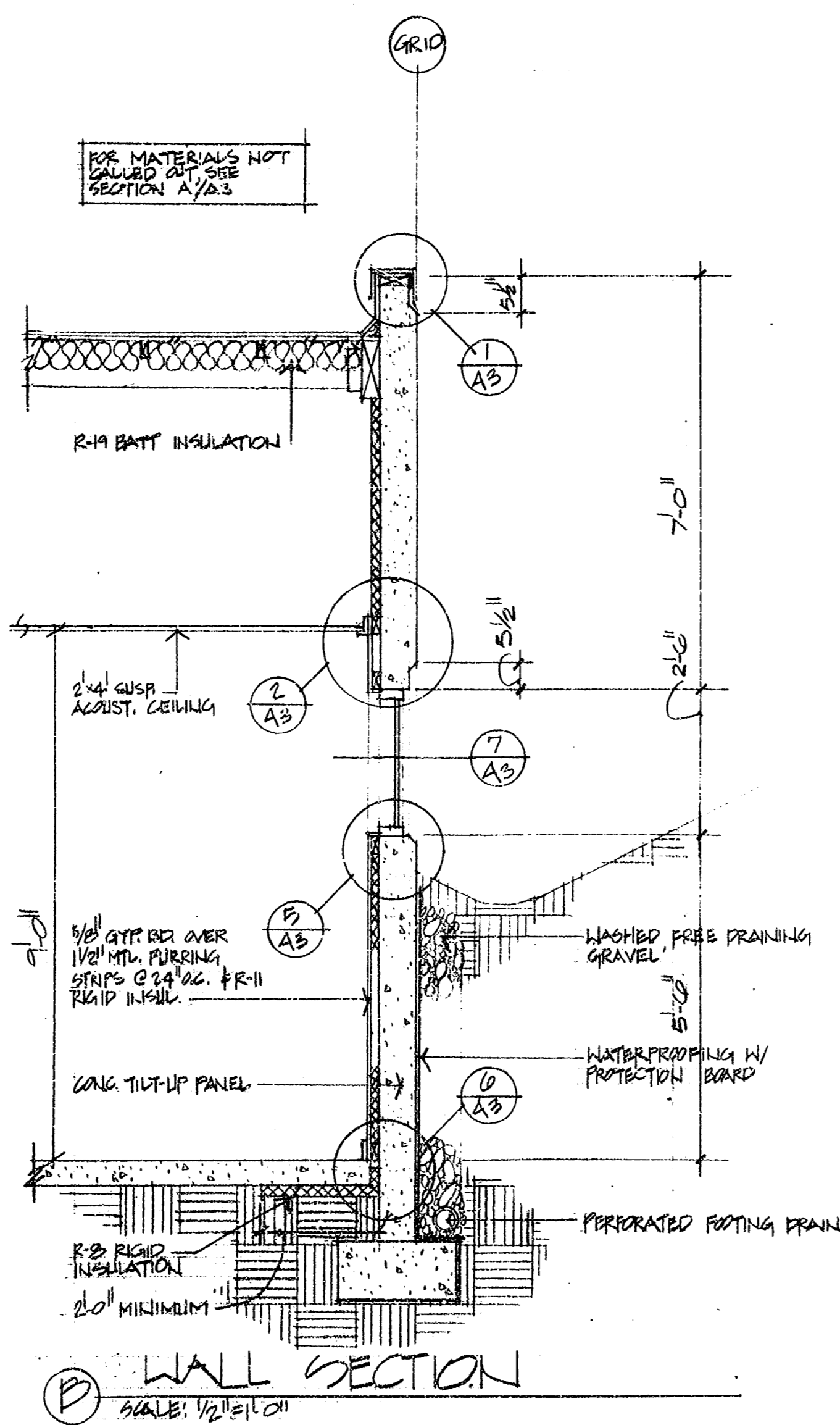
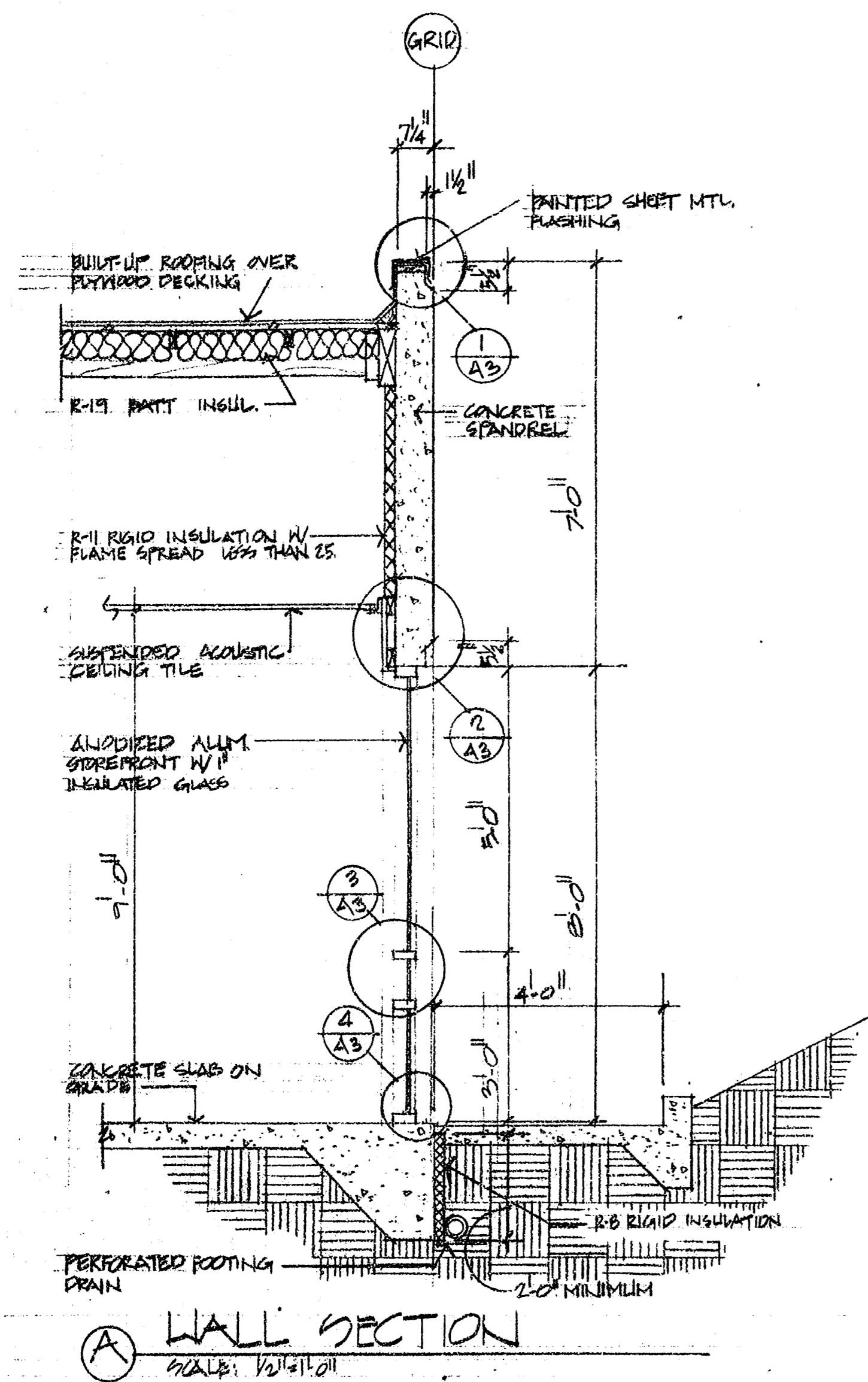
**5464**

24x



24x

BUILDING ELEVATIONS  
 SCALE: 1/8" = 1'-0"



**david kehle, architect**  
1932 first ave. suite 302  
seattle, washington 98101  
(206) 624-9495

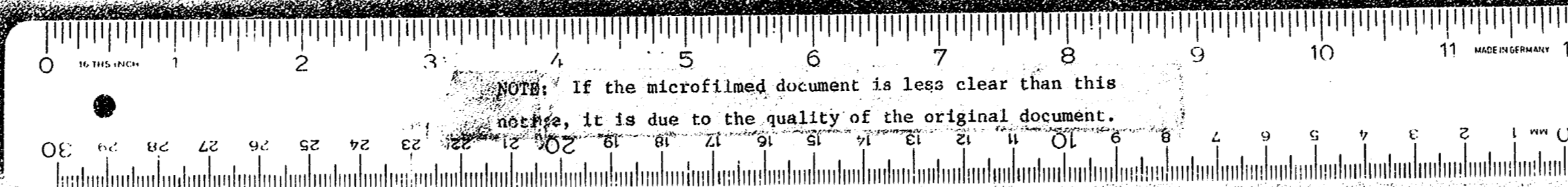
**PROPOSED NEW BUILDING**  
FOR:  
6450 SOUTH CENTER BLVD.  
TUMWANA, WASH.

CITY OF TUMWANA  
APPROVED  
NOV 2, 1988  
[Signature]  
BUILDING DIVISION

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CITY OF TUMWANA  
AUG 23 1988  
BUILDING DESK

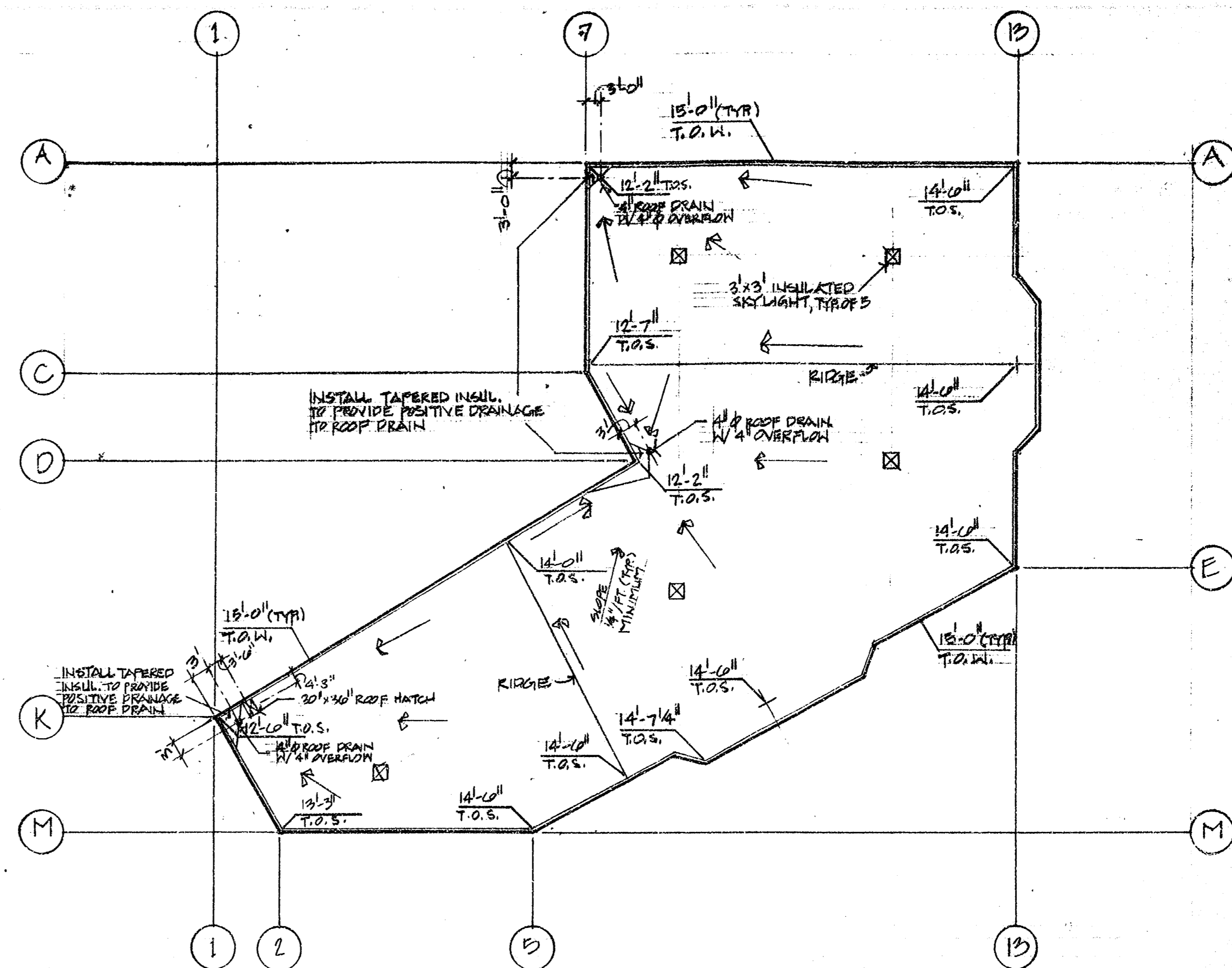
A-3

24x



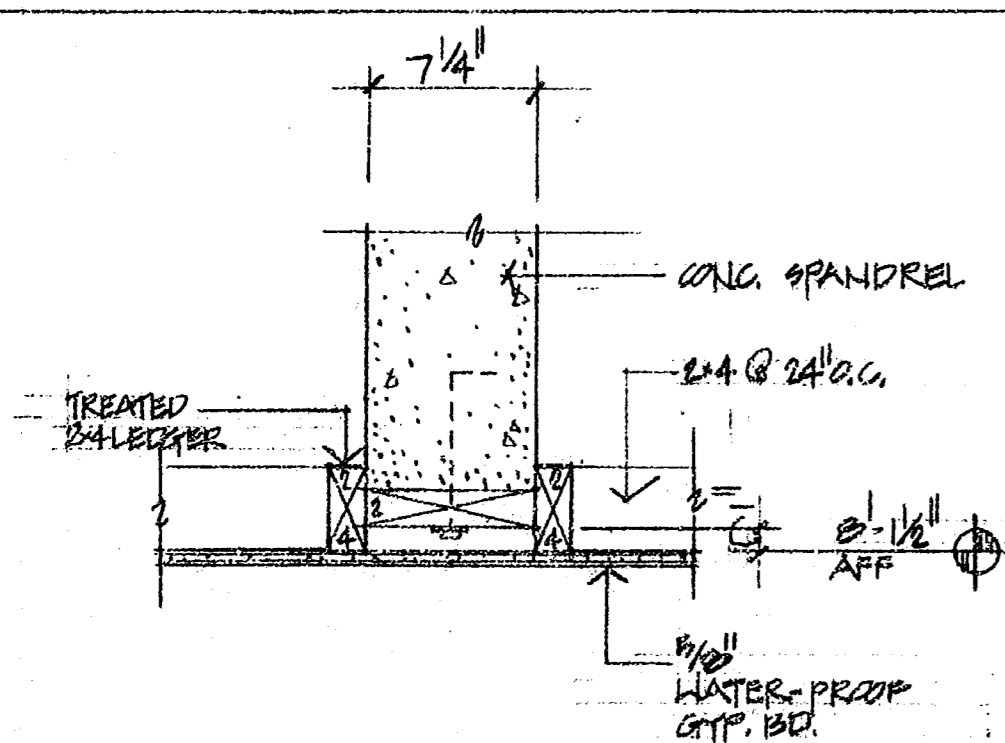
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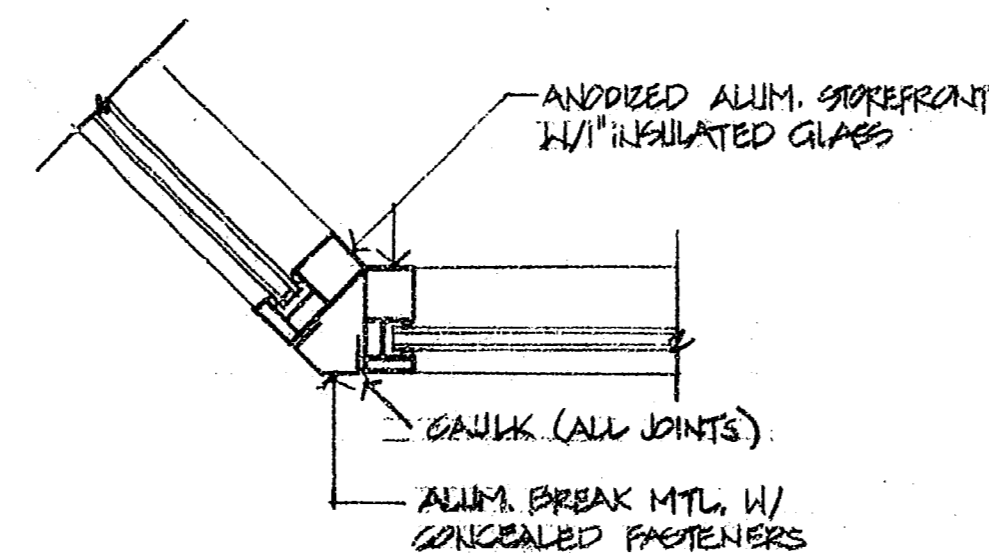


ROOF PLAN  
SCALE: 1"=20'-0"

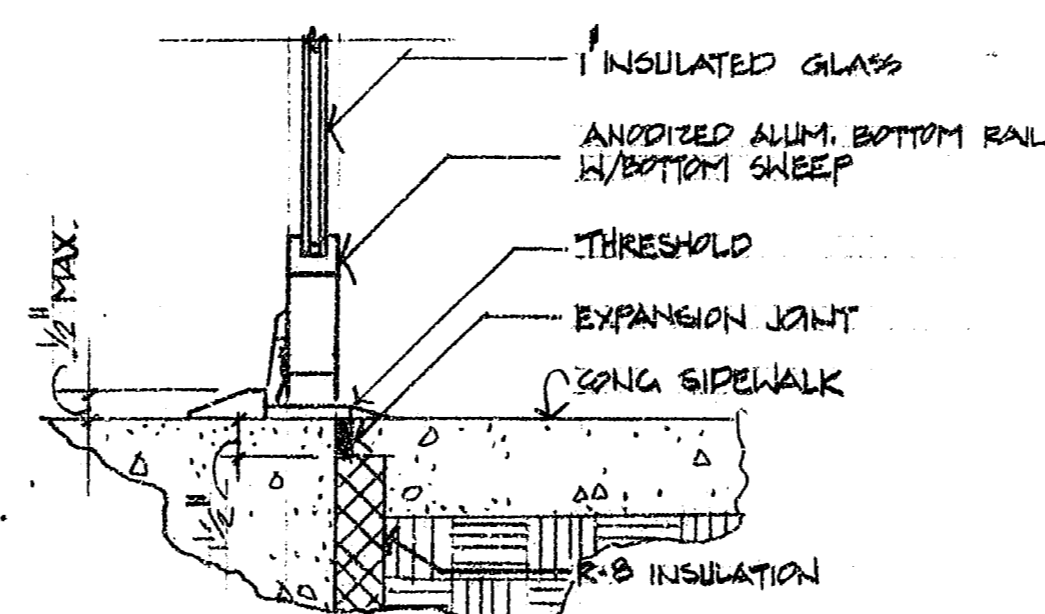
NOTES:  
NUMBER INDICATES ROOF  
SHEET ELEVATION  
T.O.W. = TOP OF WALL  
T.O.S. = TOP OF STRUCTURE



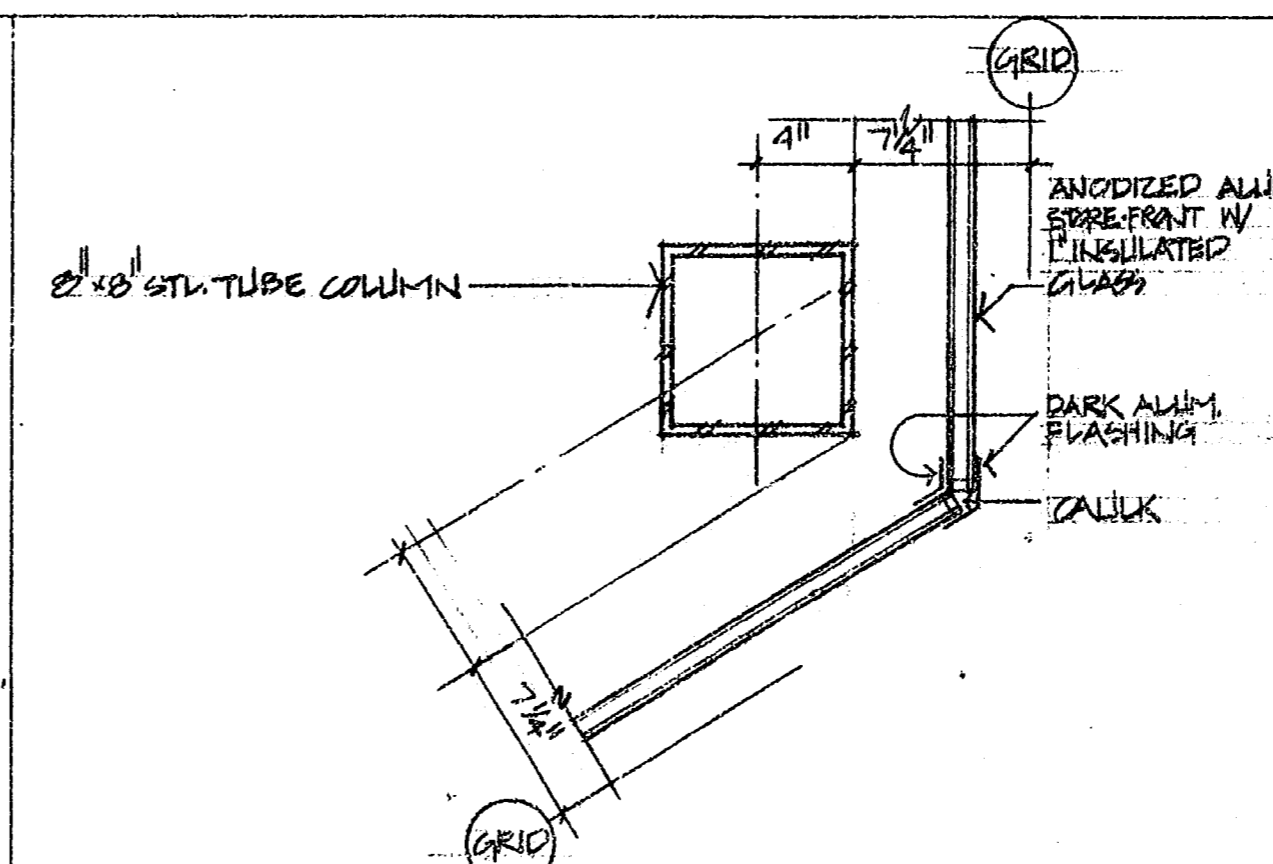
1 ENTRY SOFFIT  
SCALE: 1/8"=1'-0"



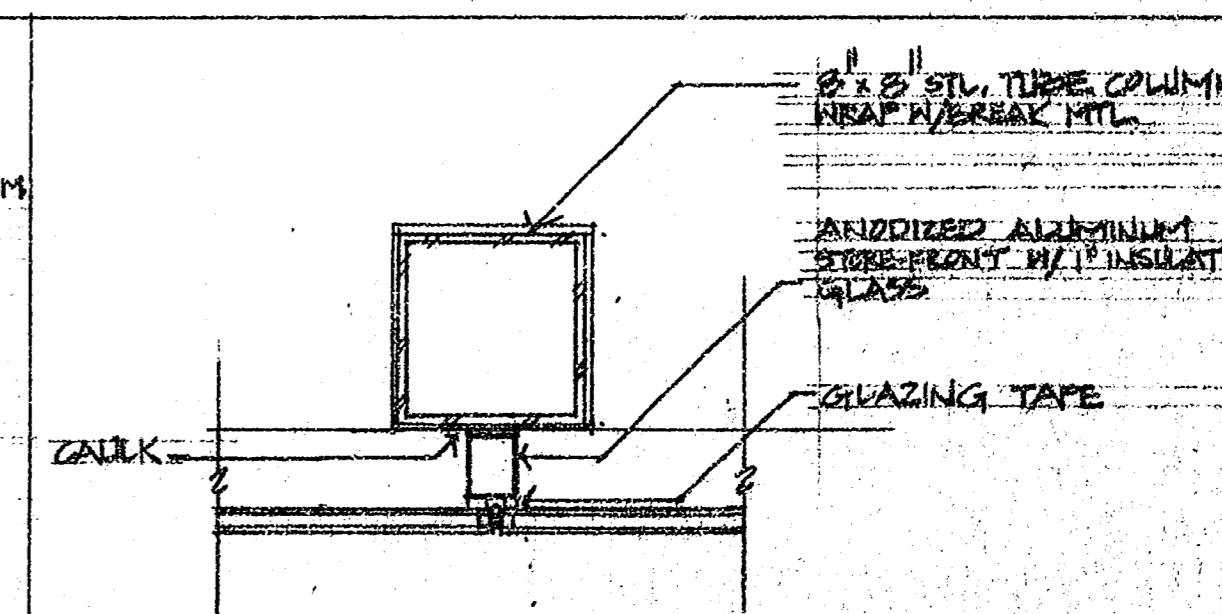
2 CORNER JAMB  
SCALE: 1/8"=1'-0"



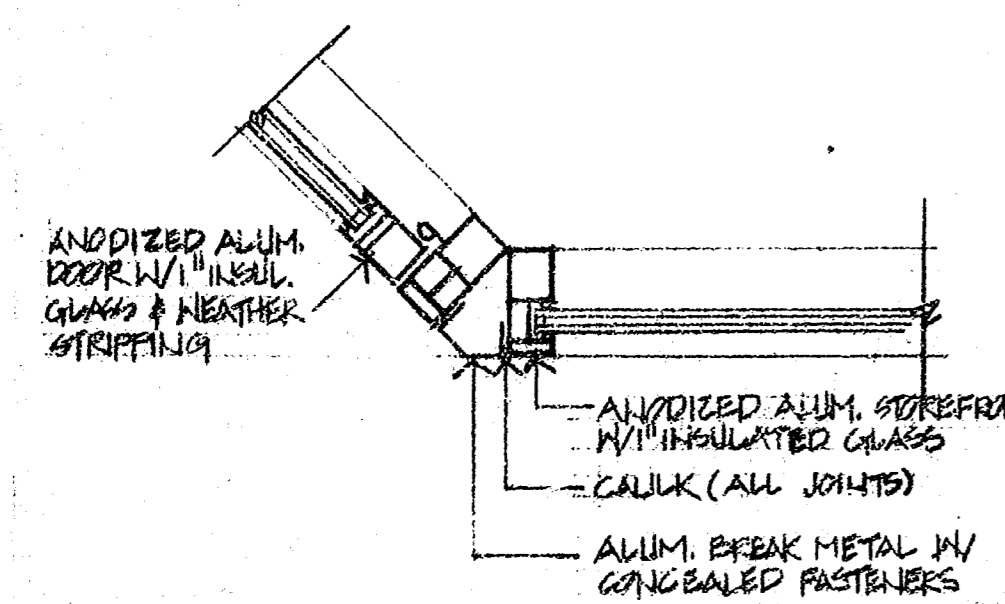
3 ENTRY DOOR THRESHOLD  
SCALE: 1/8"=1'-0"



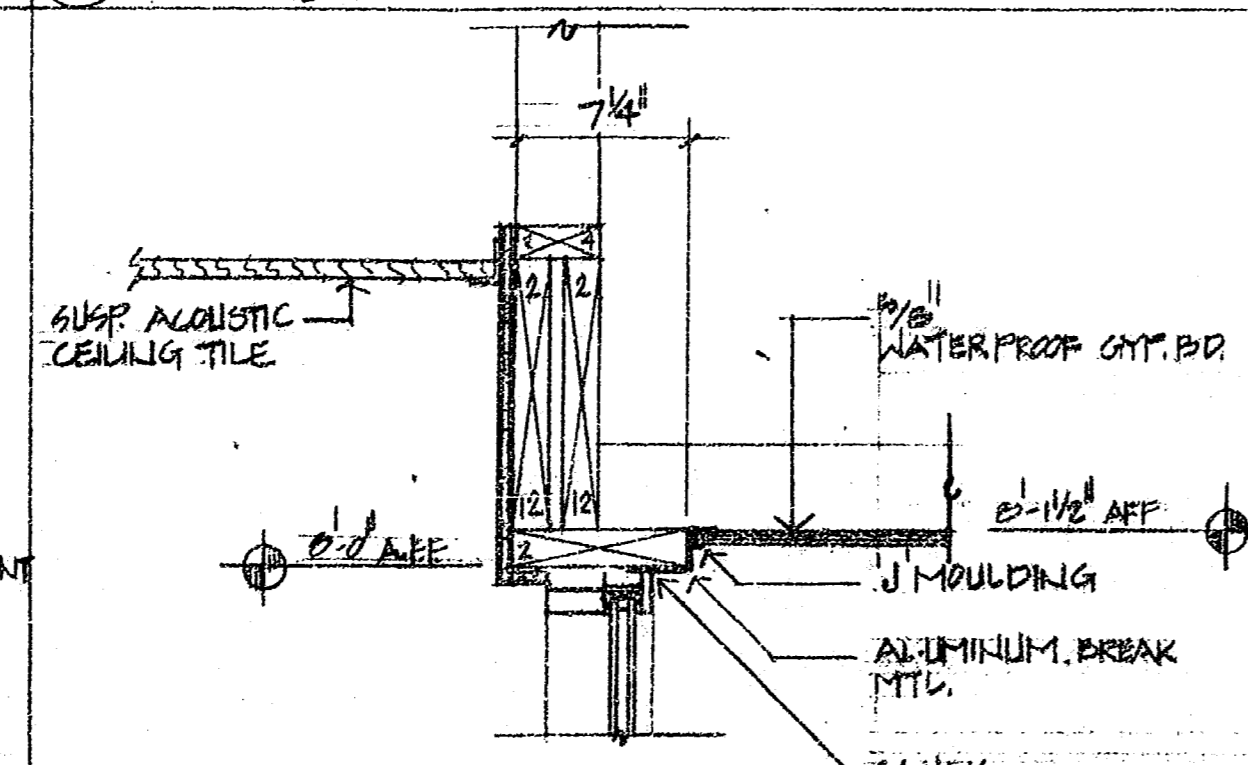
4 CORNER BUTT JOINT  
SCALE: 1/8"=1'-0"



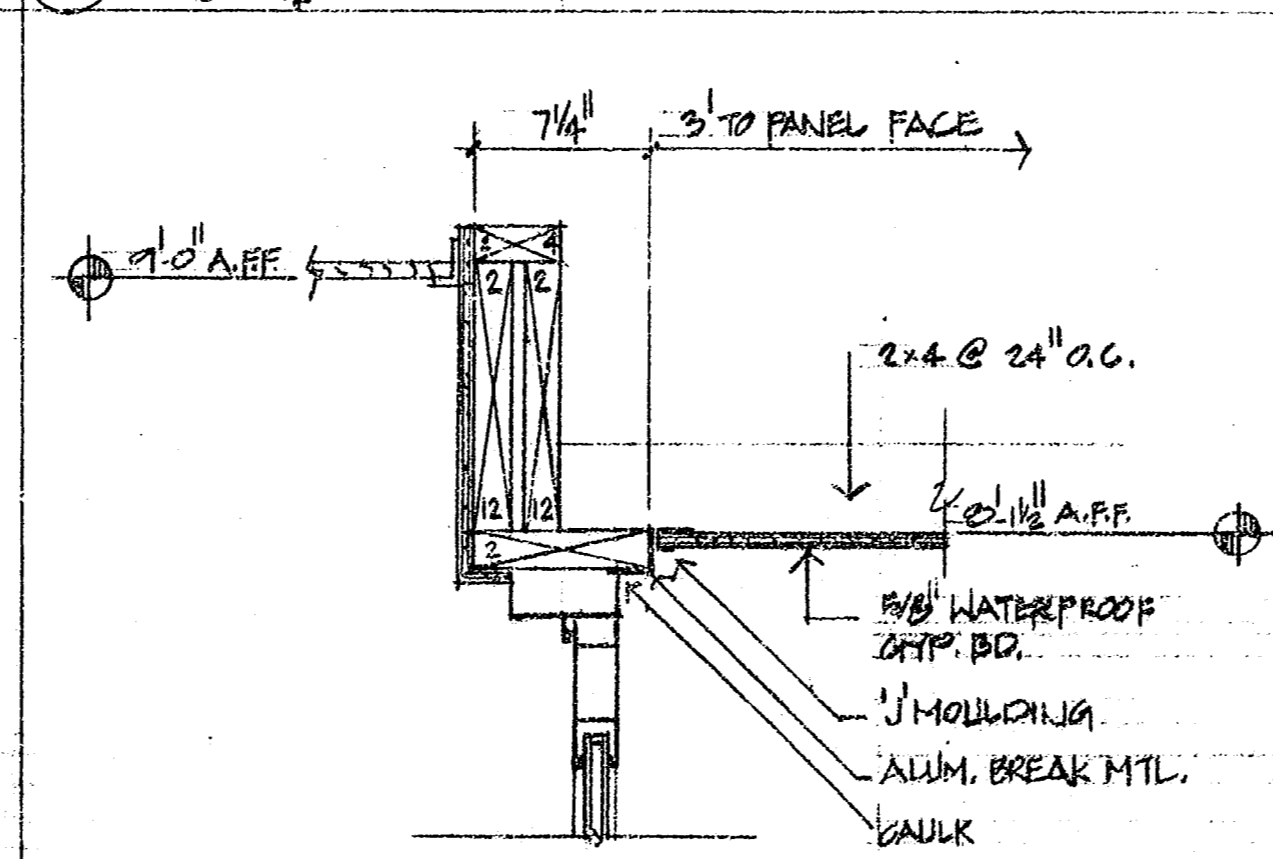
5 STORE-FRONT TO STEEL COL.  
SCALE: 1/8"=1'-0"



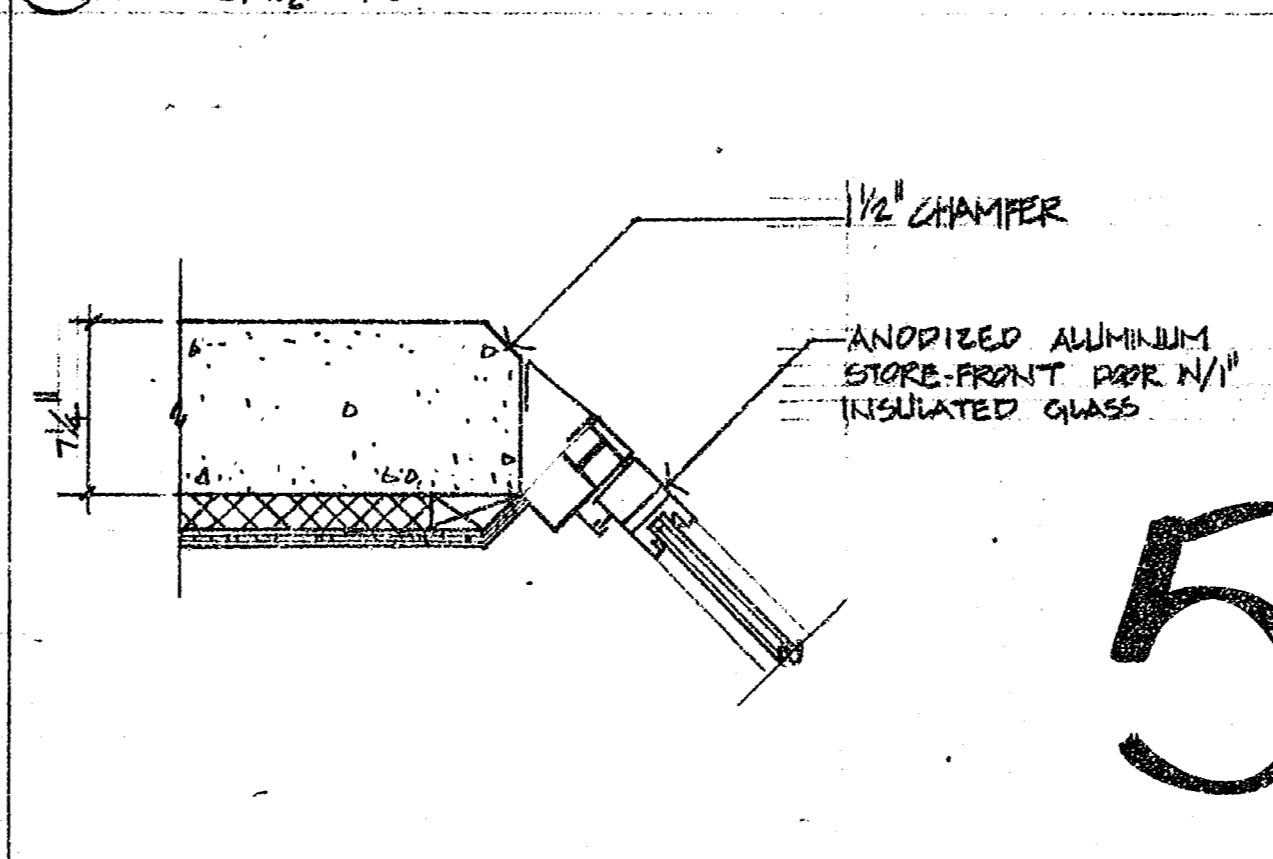
6 ENTRY DOOR JAMB  
SCALE: 1/8"=1'-0"



7 STOREFRONT HEAD  
SCALE: 1/8"=1'-0"



8 ENTRY DOOR HEAD  
SCALE: 1/8"=1'-0"



9 DOOR JAMB TO CONC. PANEL  
SCALE: 1/8"=1'-0"

CITY OF TUKWILA  
APPROVED  
NOV 8, 1998  
BUILDING DIVISION

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CITY OF TUKWILA  
AUG 23 1998  
BUILDING DEPT.

PROPOSED NEW BUILDING

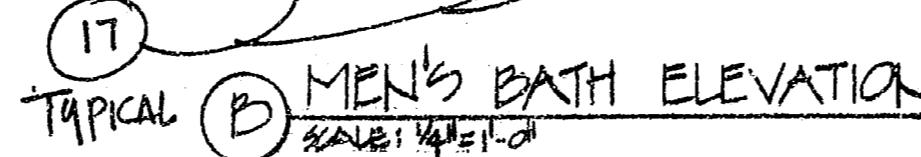
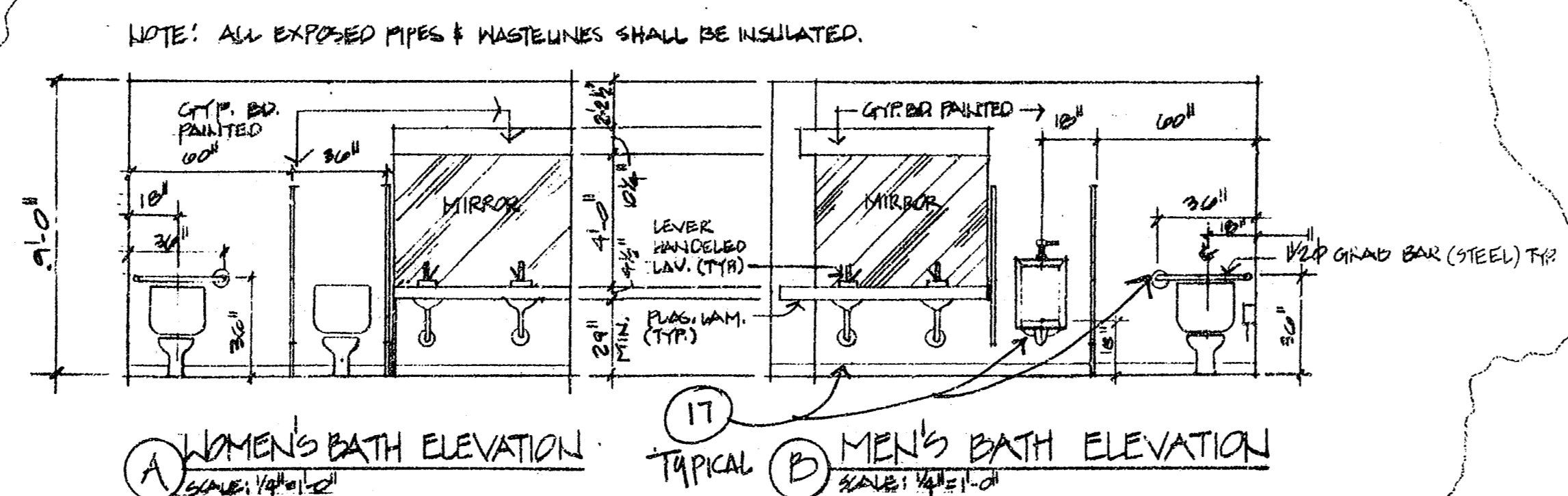
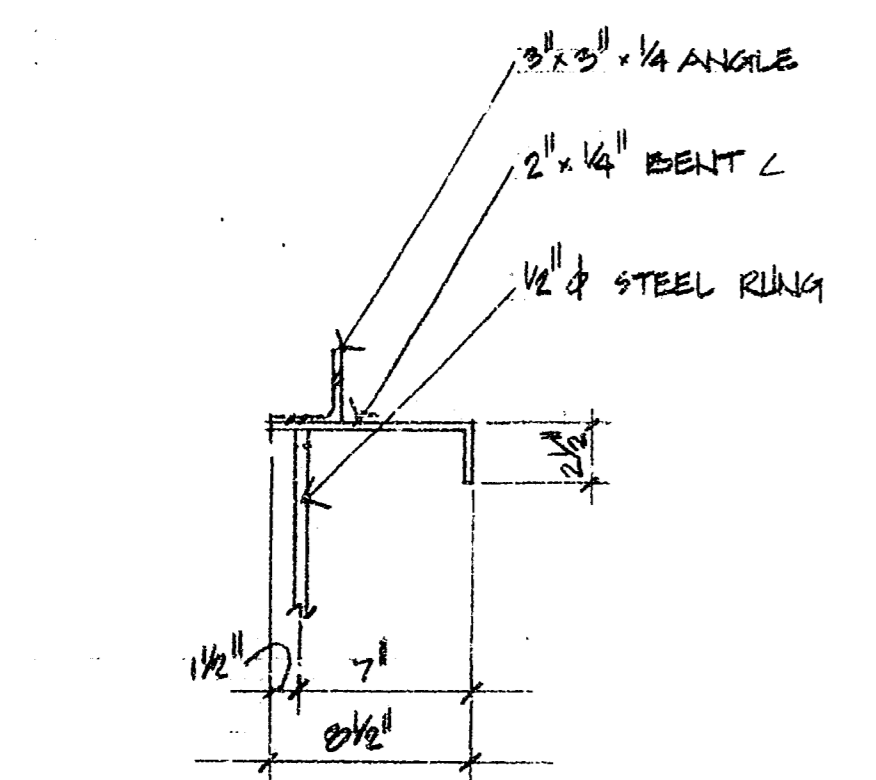
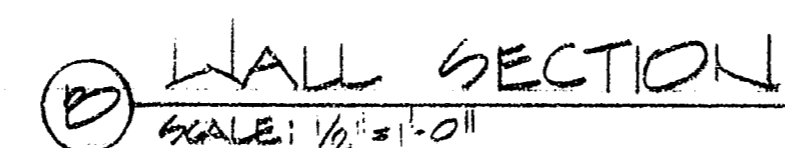
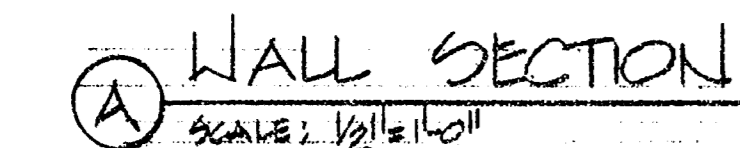
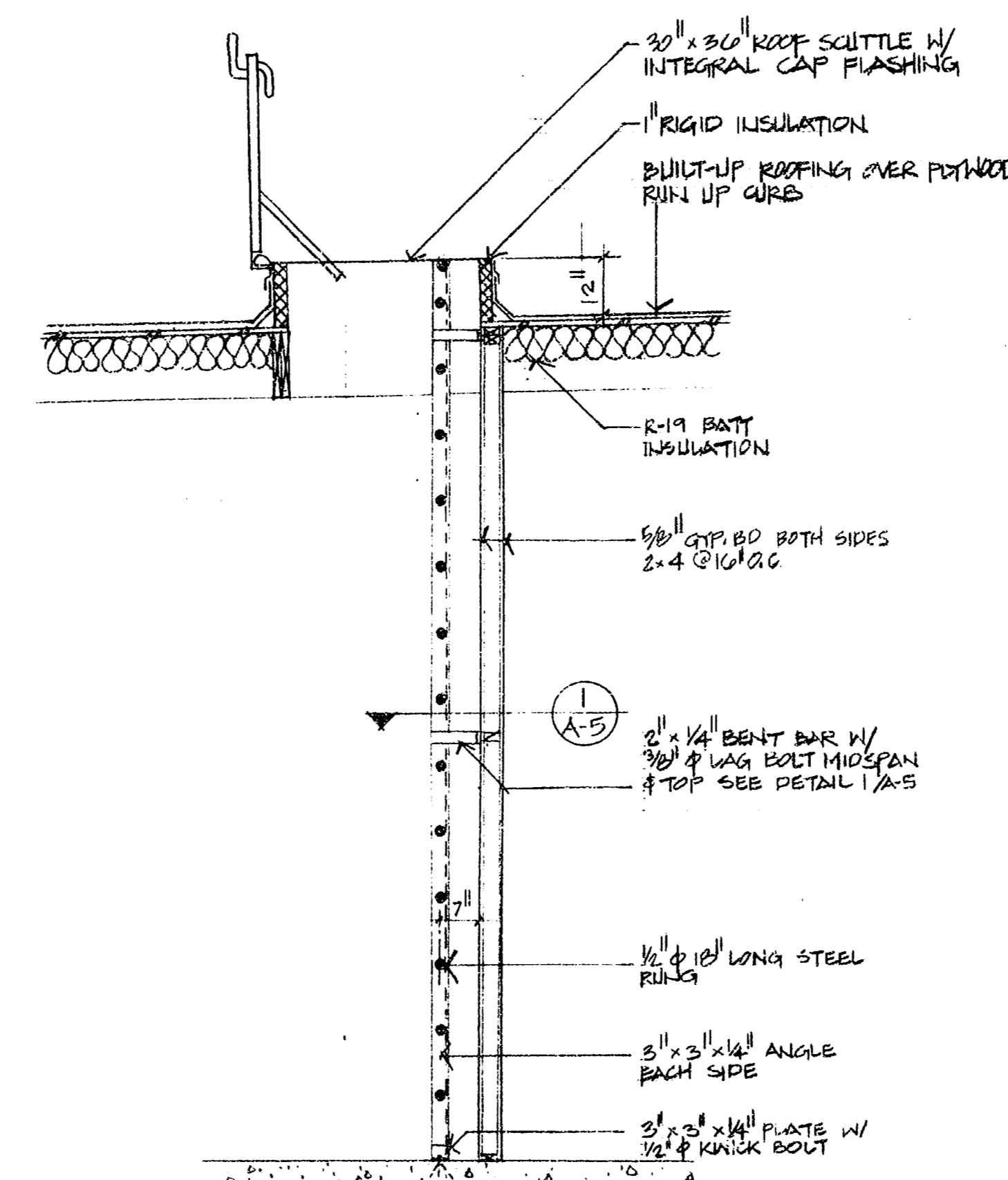
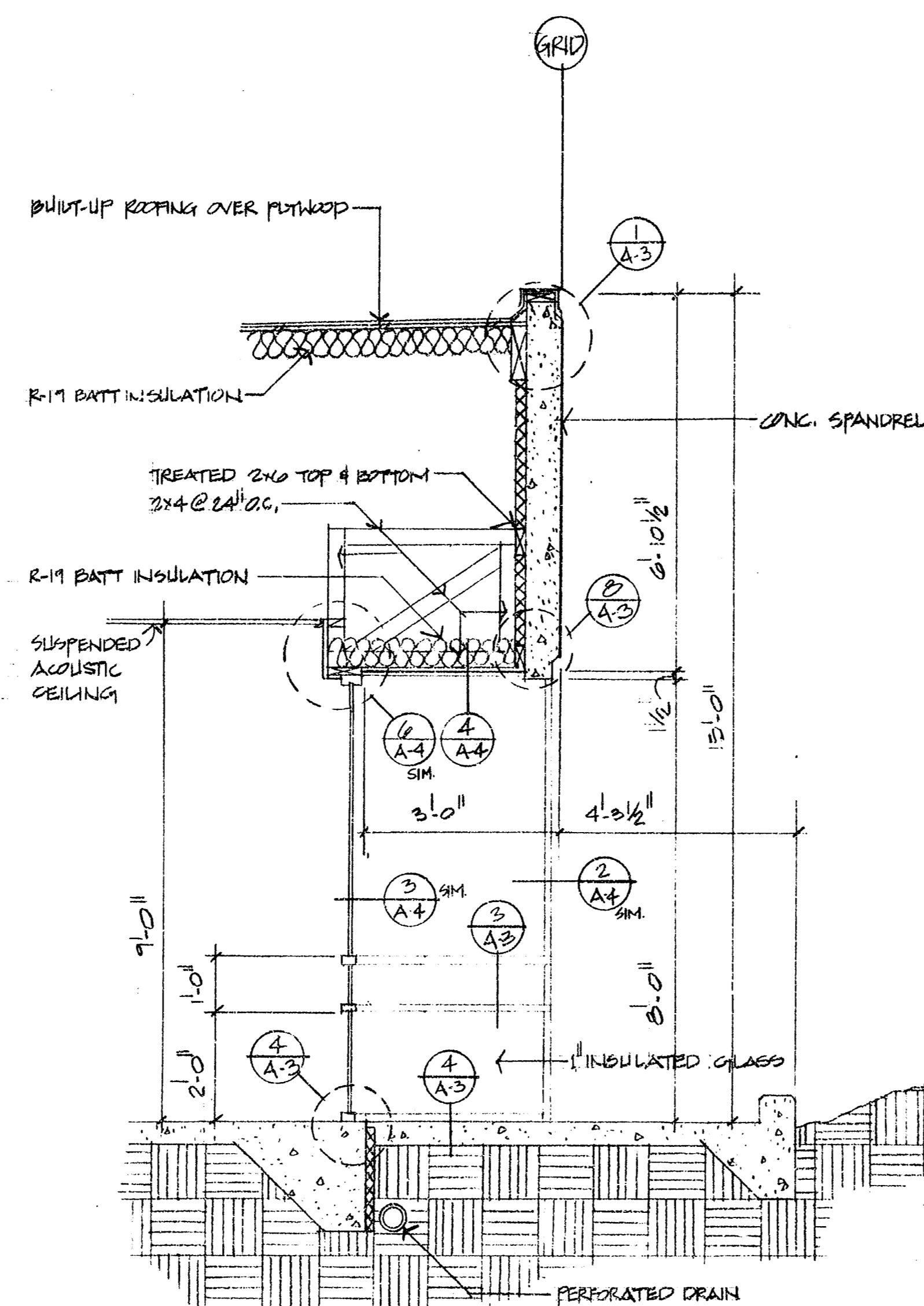
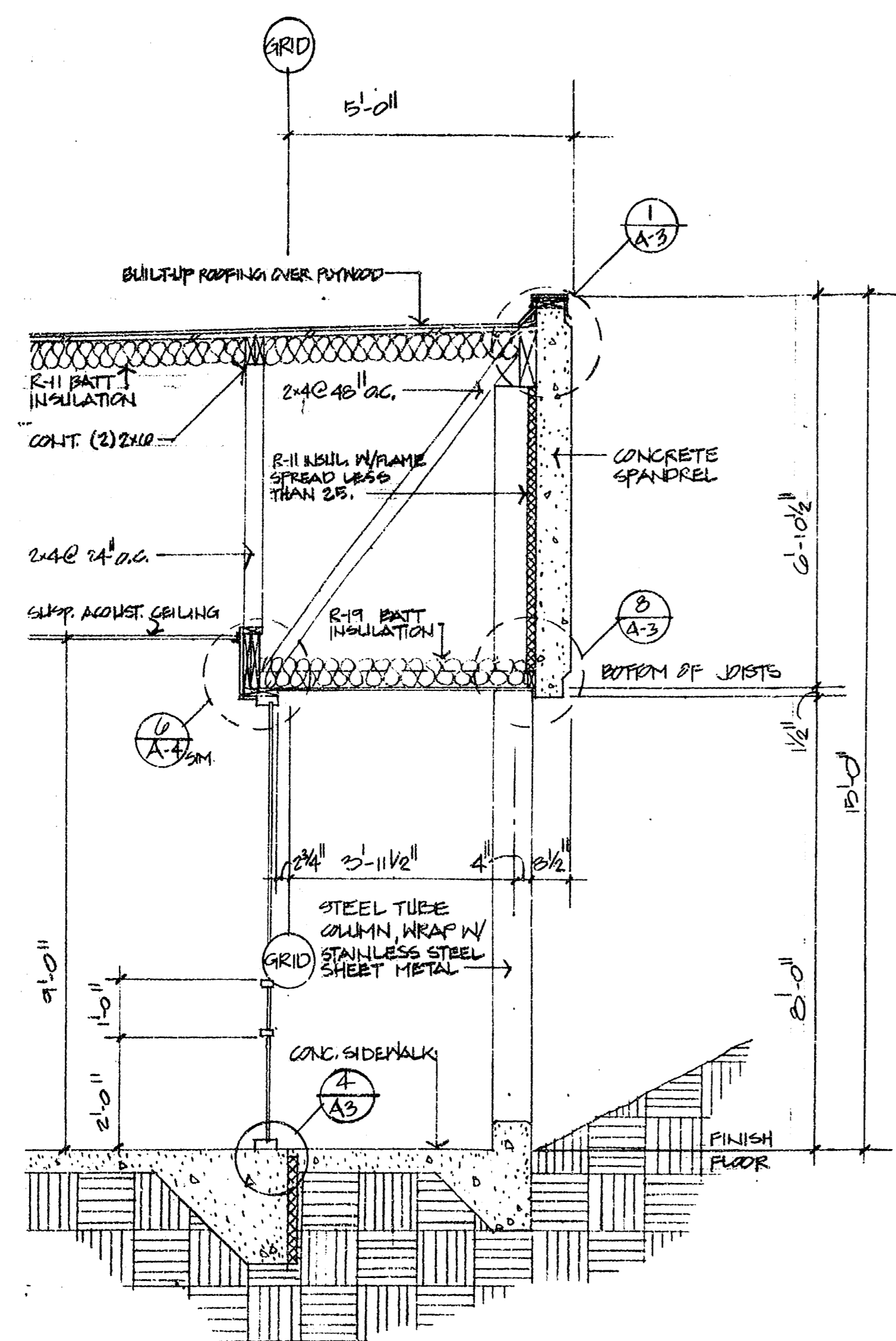
FOR:  
2450 SOUTHCENTER BLVD.  
TUKWILA, WASH.

david kehle, architect  
1932 first ave, suite 302  
seattle, washington 98101  
(206) 624-9495

A-1

24x

24x



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CITY OF TURKISH  
OCT 10 1988  
BUILDING DEPT.

OCT 10 1988

**BUILDING CODE**

CITY OF TUKWIL  
APPROVED  
NOV 2 1988  
AS NOTED  
BILL DUNN, DEPUTY

NOV 21 1981

NOV 21 1981

AS NOTED

~~XXXXXXXXXX~~  
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**PROPOSED NEW BUILDING**

1000

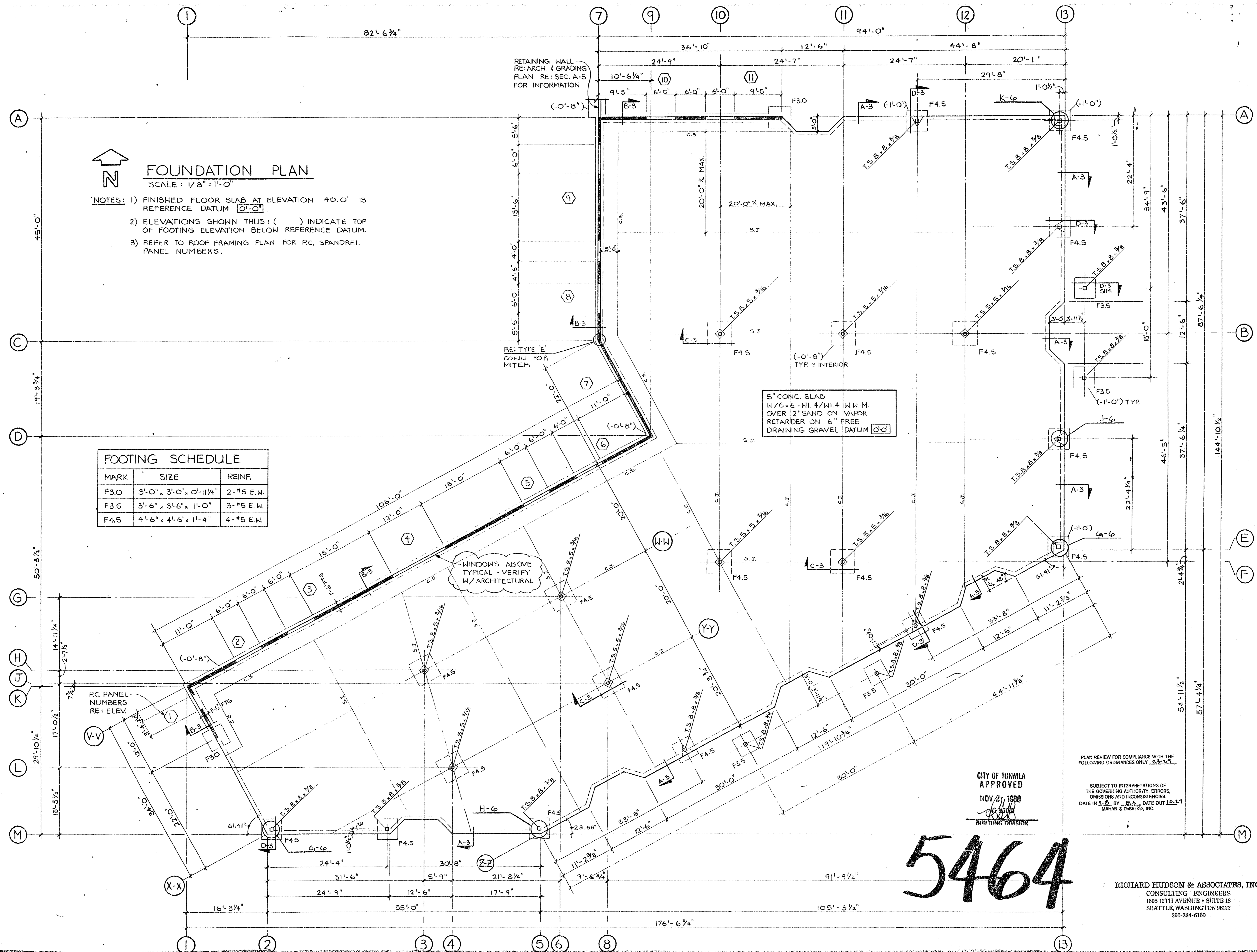
**davidkehle**, architect  
1932 first ave. suite 302  
seattle, washington 98101  
[206] 624-9495

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[206] 624-9495

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[206] 624-9495

**davidkehle**, architect  
1932 first ave. suite 302  
seattle, washington 98101  
[206] 624-9495

A-5



**FOUNDATION PLAN**  
 SCALE: 1/8" = 1'-0"

NOTES: 1) FINISHED FLOOR SLAB AT ELEVATION 40.0' IS REFERENCE DATUM [0'-0"]  
 2) ELEVATIONS SHOWN THUS: ( ) INDICATE TOP OF FOOTING ELEVATION BELOW REFERENCE DATUM.  
 3) REFER TO ROOF FRAMING PLAN FOR R.C. SPANDREL PANEL NUMBERS.

**FOOTING SCHEDULE**

MARK	SIZE	REINF.
F3.0	3'-0" x 3'-0" x 0'-11 1/4"	2-#5 E.W.
F3.5	3'-6" x 3'-6" x 1'-0"	3-#5 E.W.
F4.5	4'-6" x 4'-6" x 1'-4"	4-#5 E.W.

5" CONC. SLAB  
 W/6x6-W/11.4 W.W.M.  
 OVER 2" SAND ON VAPOR  
 RETARDER ON 6" FREE  
 DRAINING GRAVEL DATUM [0'-0"]

CITY OF TUKWILA  
 APPROVED  
 NOV 21 1998  
 BUILDING DIVISION

PLAN REVIEW FOR COMPLIANCE WITH THE  
 FOLLOWING ORDINANCES ONLY: 23-1-1  
 SUBJECT TO INTERPRETATIONS OF  
 THE GOVERNING AUTHORITY. ERRORS,  
 OMISSIONS AND INCONSISTENCIES  
 DATE 11-3-98 BY [Signature] DATE OUT 12-21  
 MAHAR & DESALTO, INC.

RICHARD HUDSON & ASSOCIATES, INC.  
 CONSULTING ENGINEERS  
 1605 12TH AVENUE • SUITE 18  
 SEATTLE, WASHINGTON 98122  
 206-324-6160

Project No. \_\_\_\_\_  
 Date 8-19-98  
 Drawn by \_\_\_\_\_  
 Checked by \_\_\_\_\_

PROPOSED NEW BUILDING

**david kehle, architect**

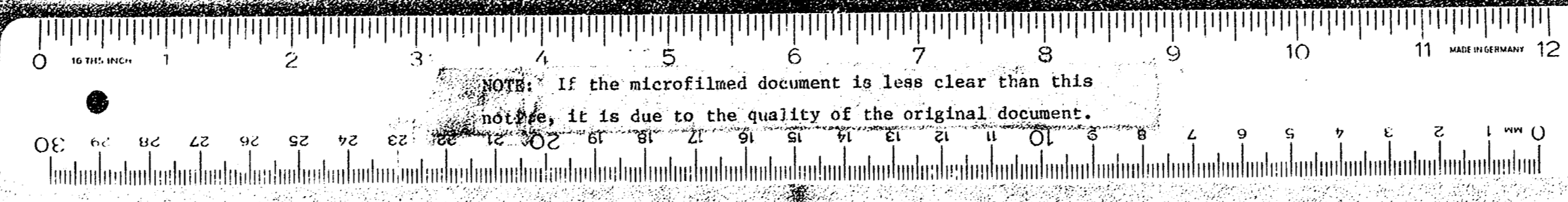
**dk** [206]

washington 98

PROPOSED NEW BUILDING

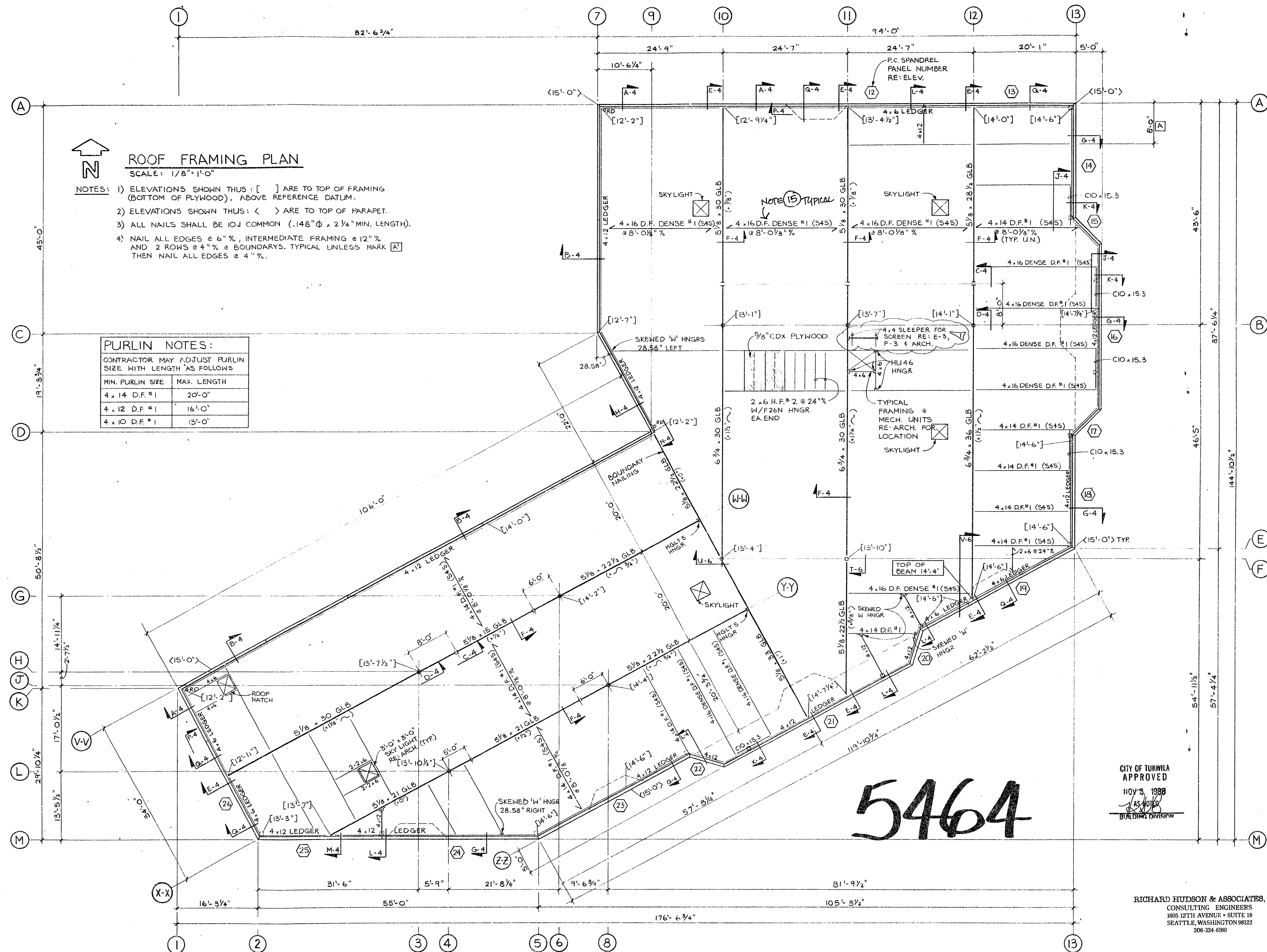
6450 SOUTHCENTER BLVD.  
 TUKWILA, WASH.

24x



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Project no. 98-1988  
Case 98-1988  
Drawn by [signature]  
Checked by [signature]

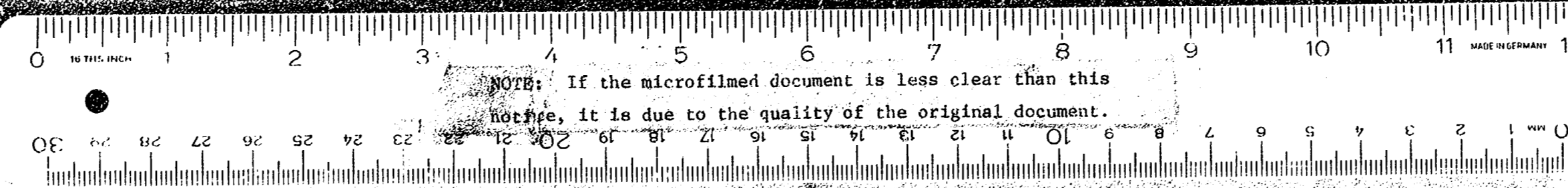
PROPOSED NEW BUILDING

6450 SOUTH CENTER BLVD.  
TUKWILA, WASH.

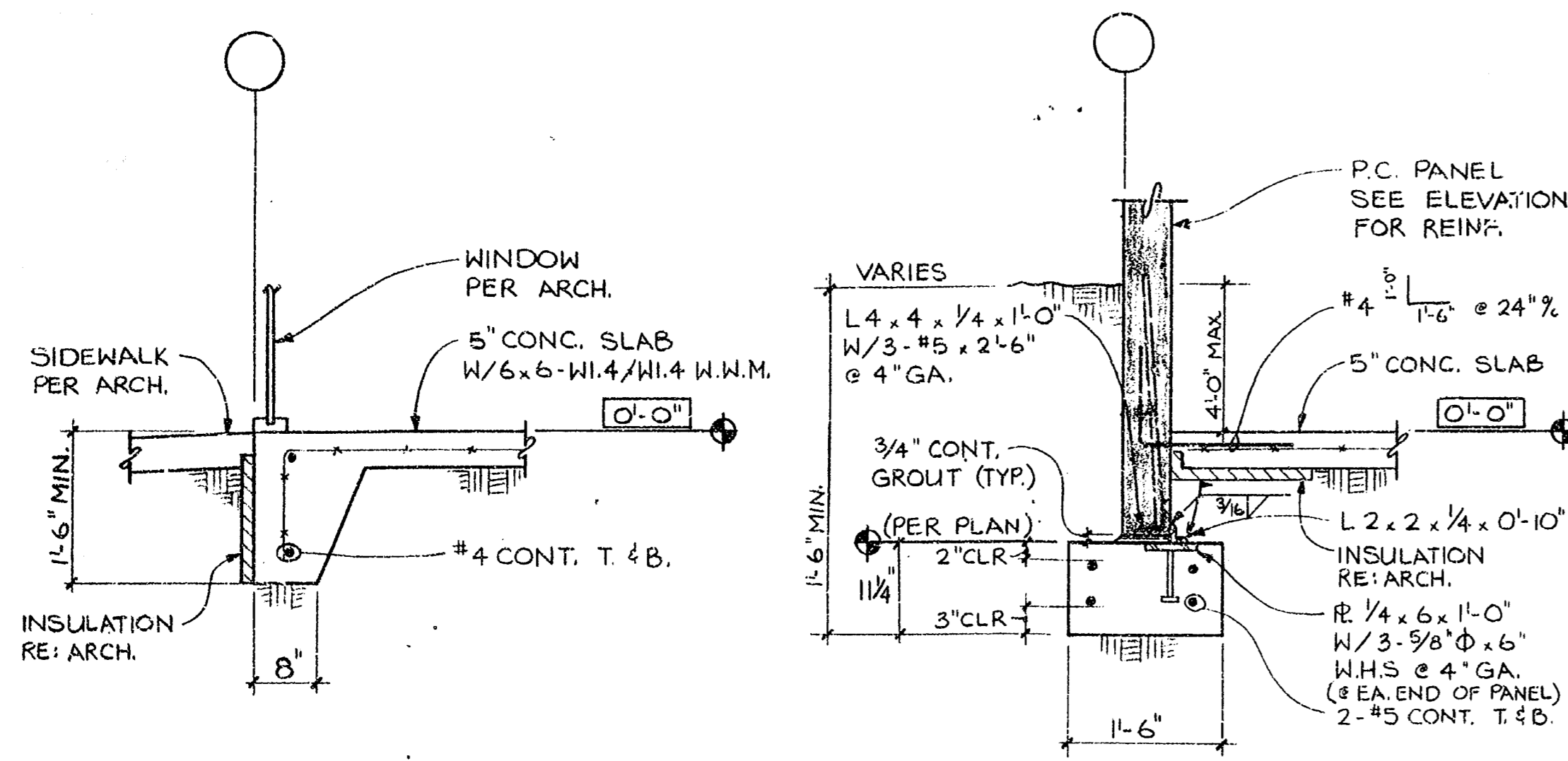
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OF 6

David Kehle, architect  
Washington 9810  
[206]

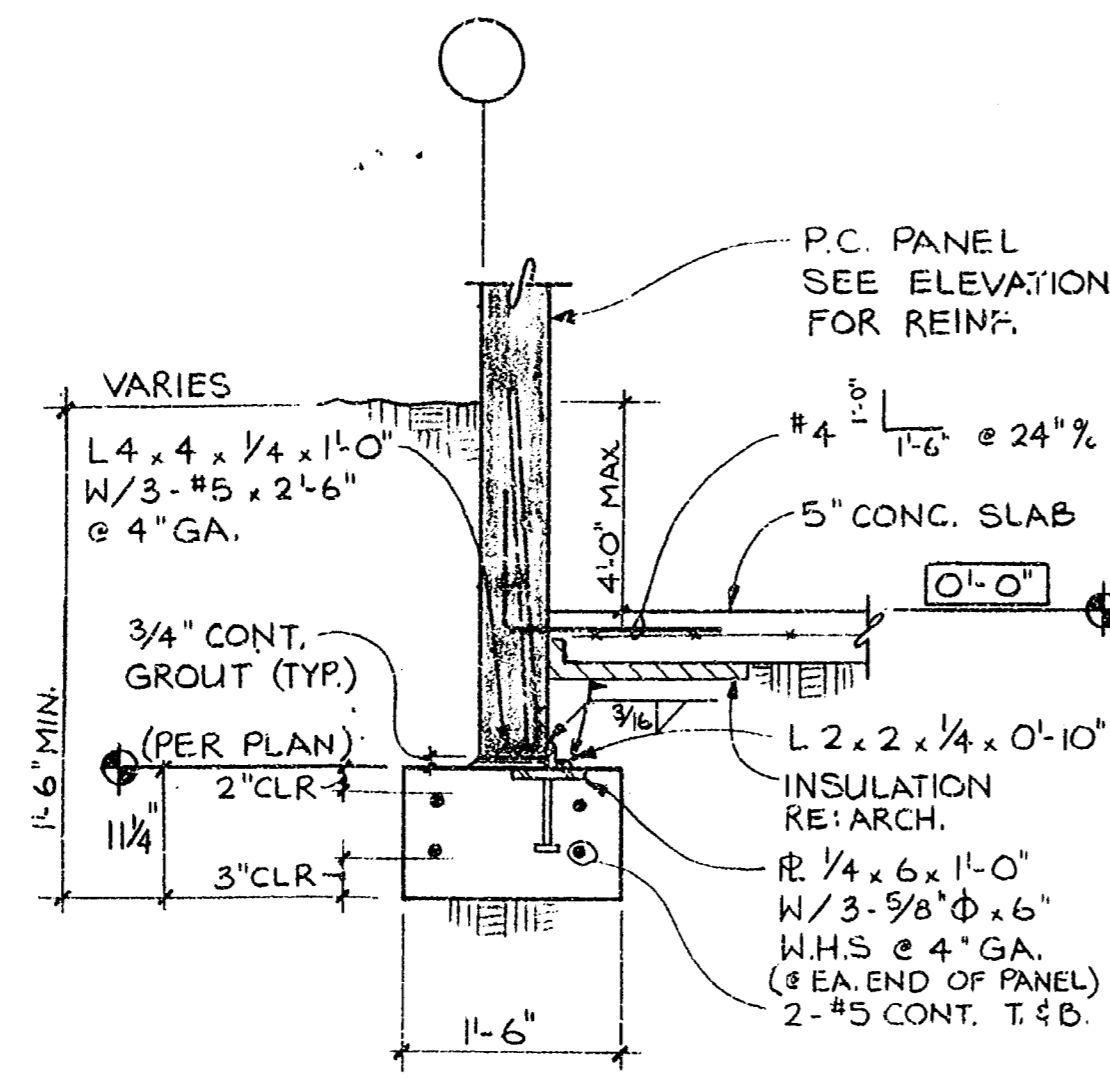
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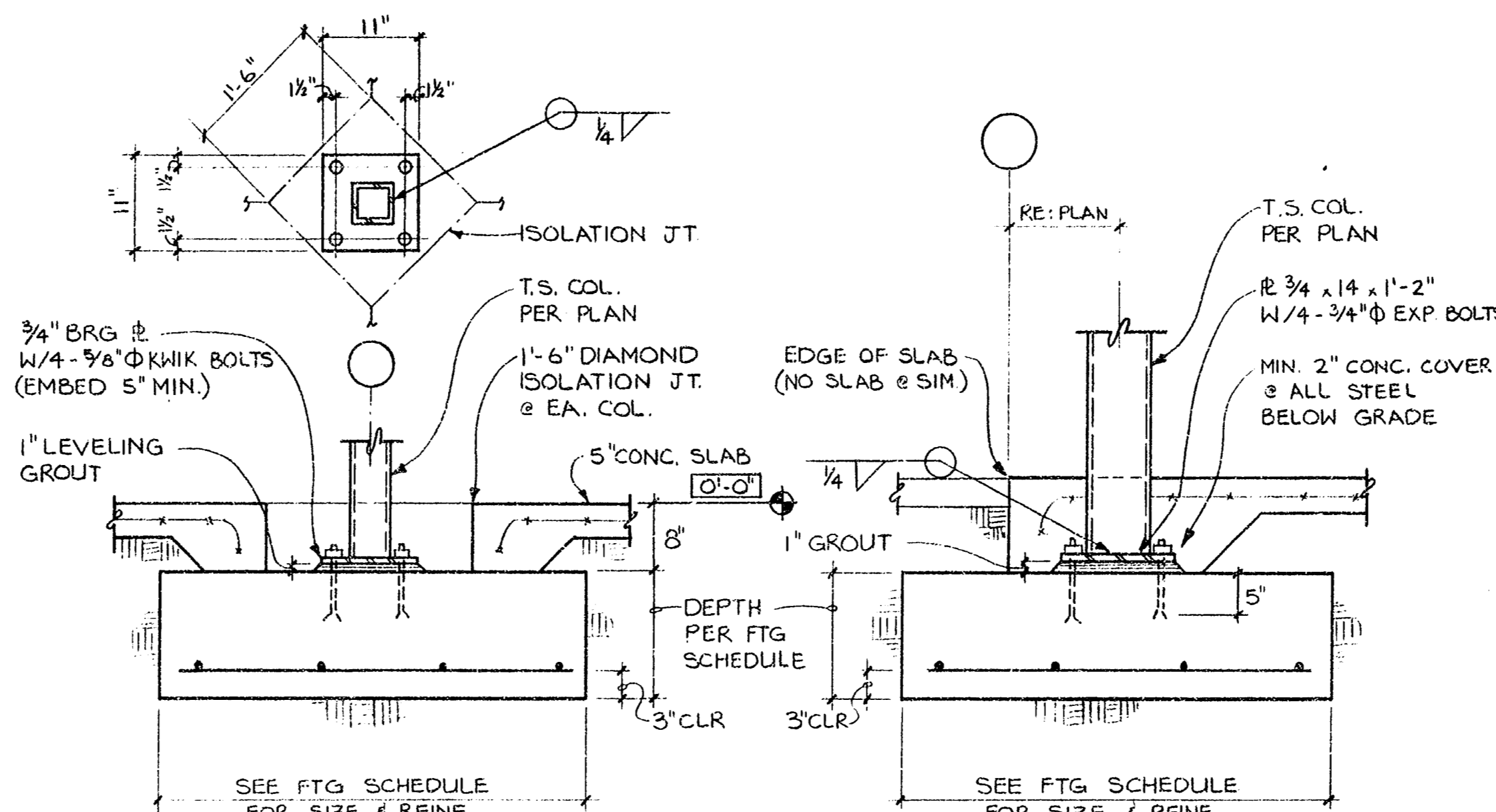
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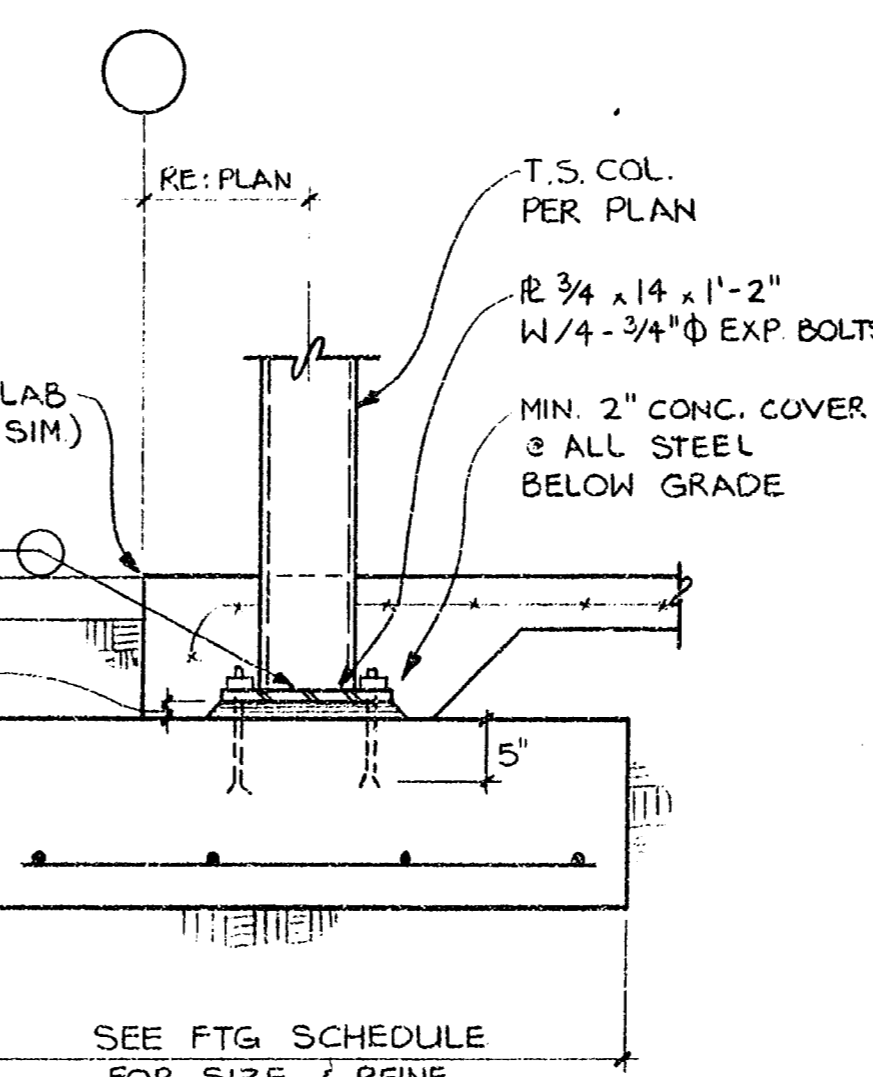
SECTION A-3  
SCALE: 3/4" = 1'-0"



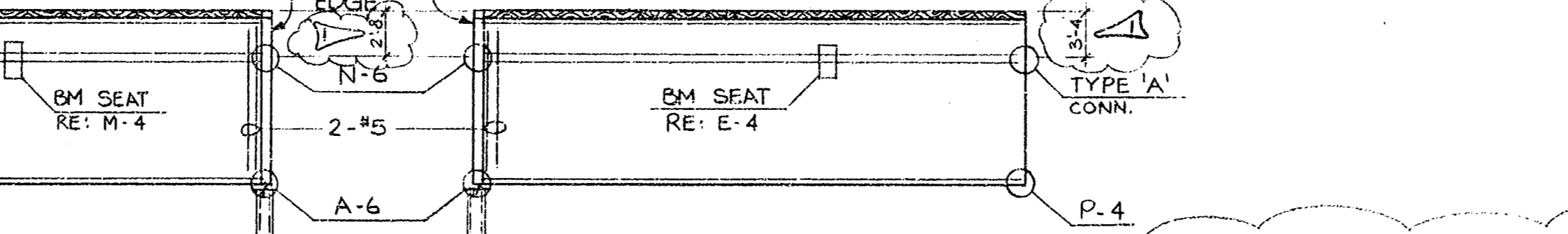
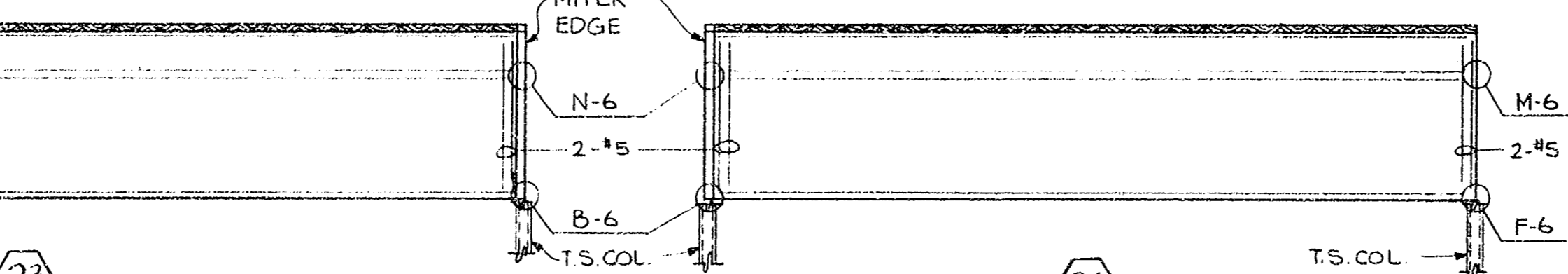
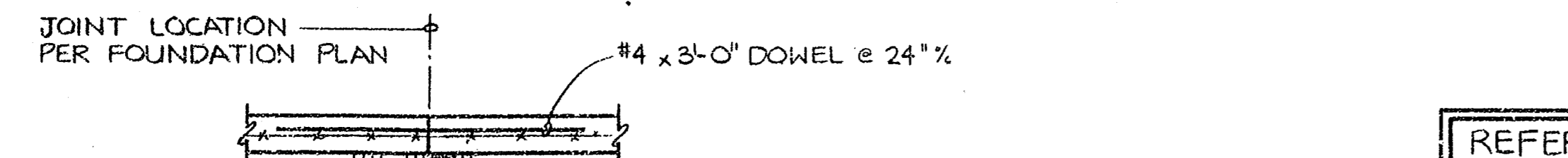
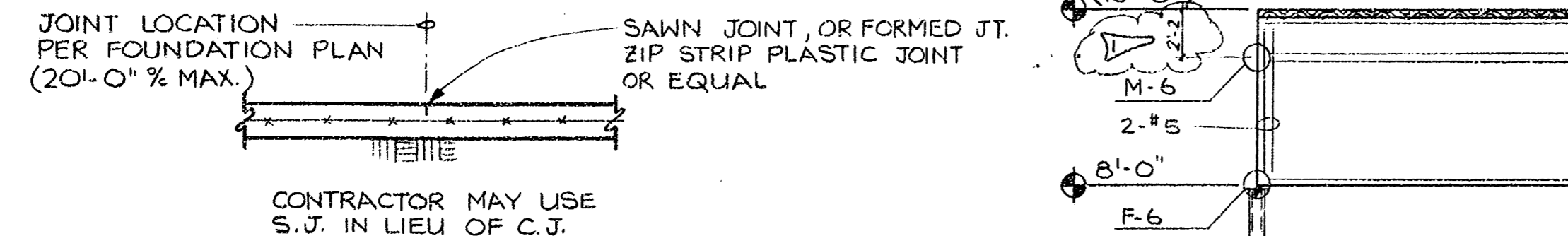
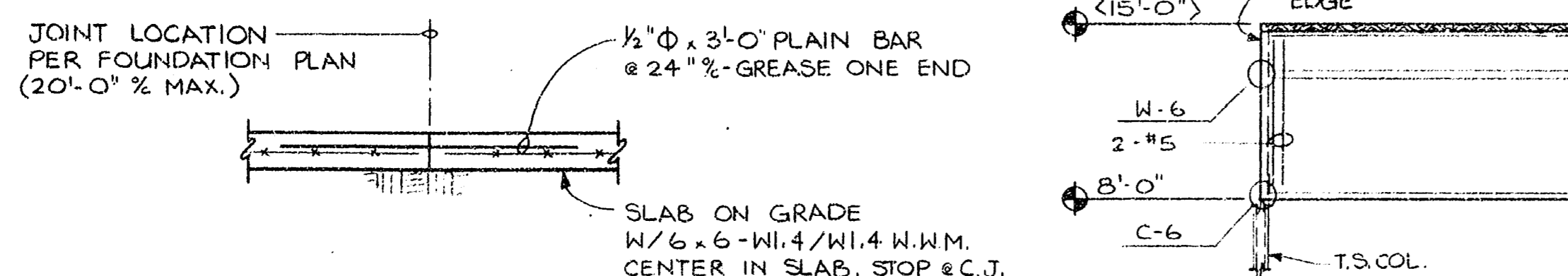
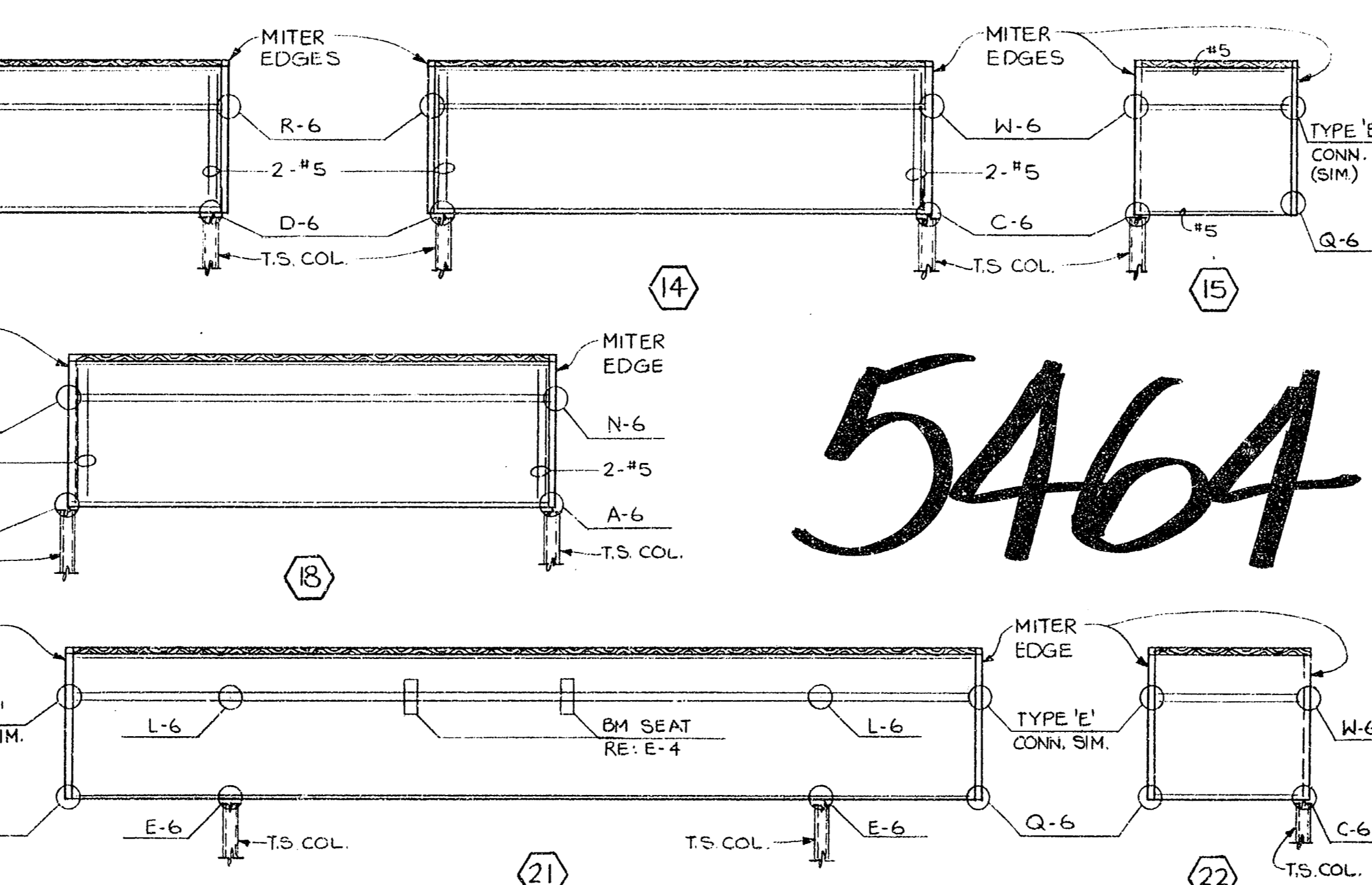
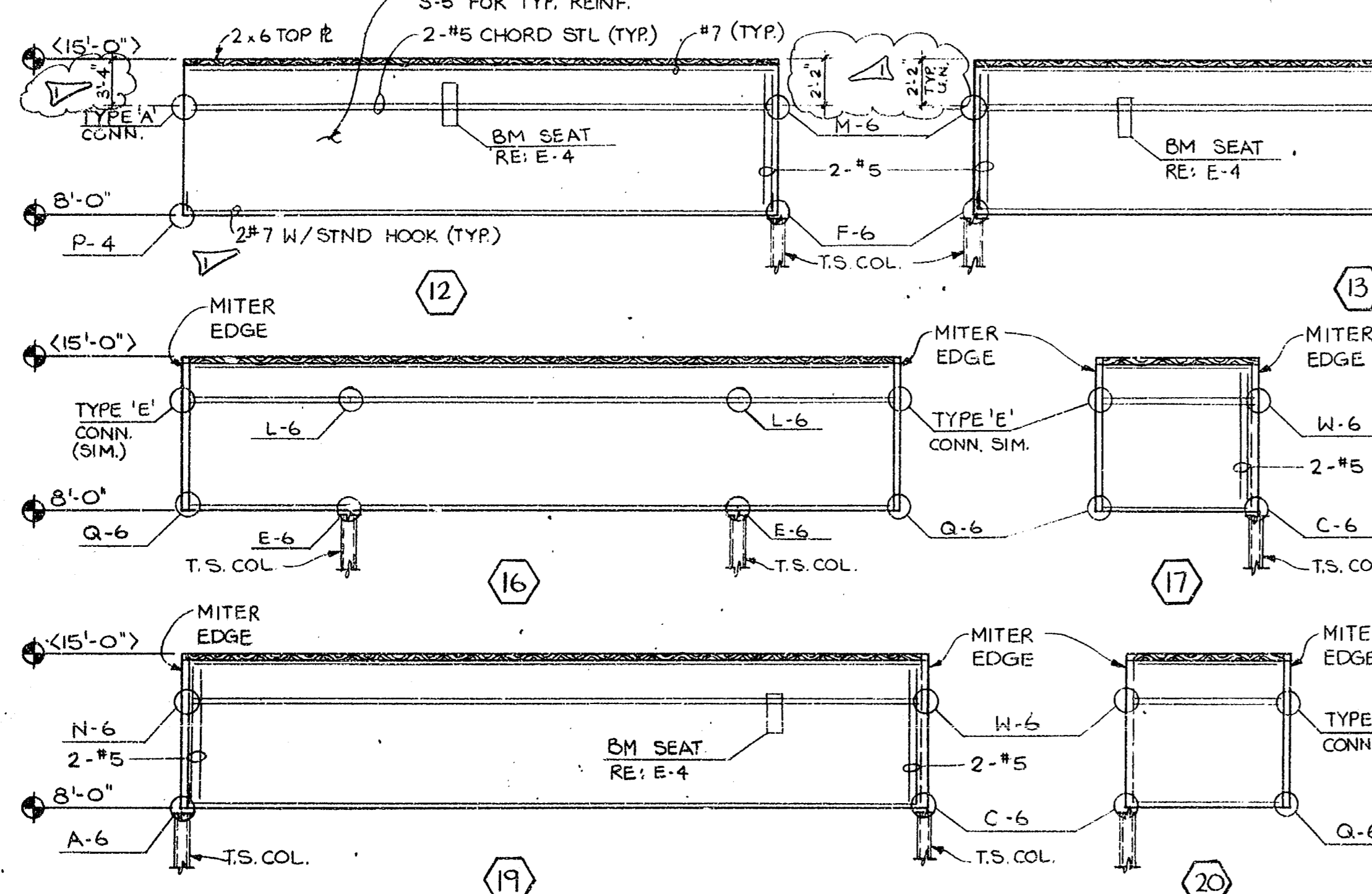
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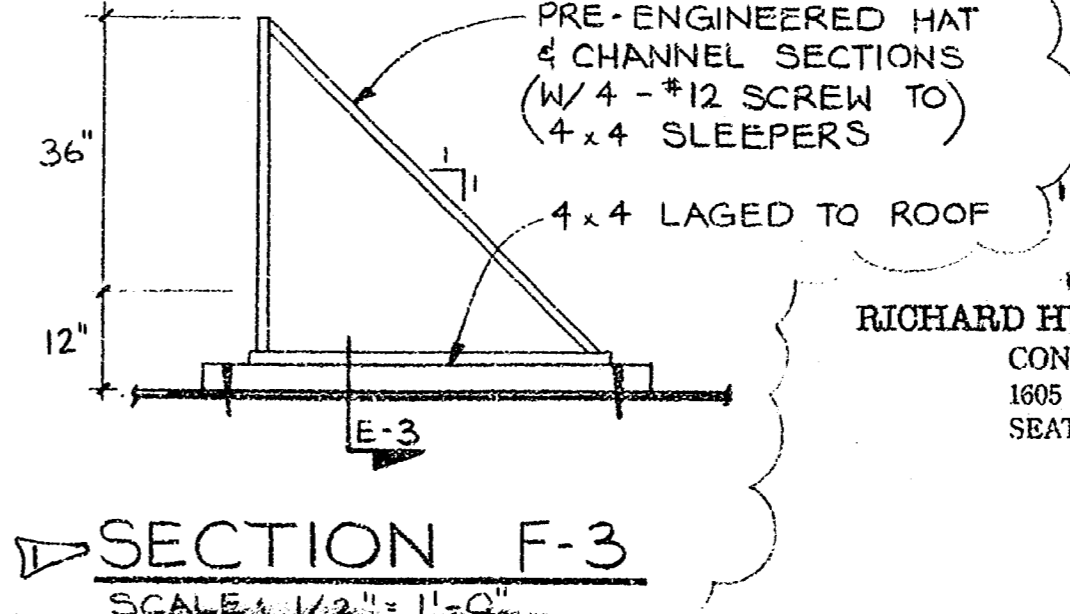
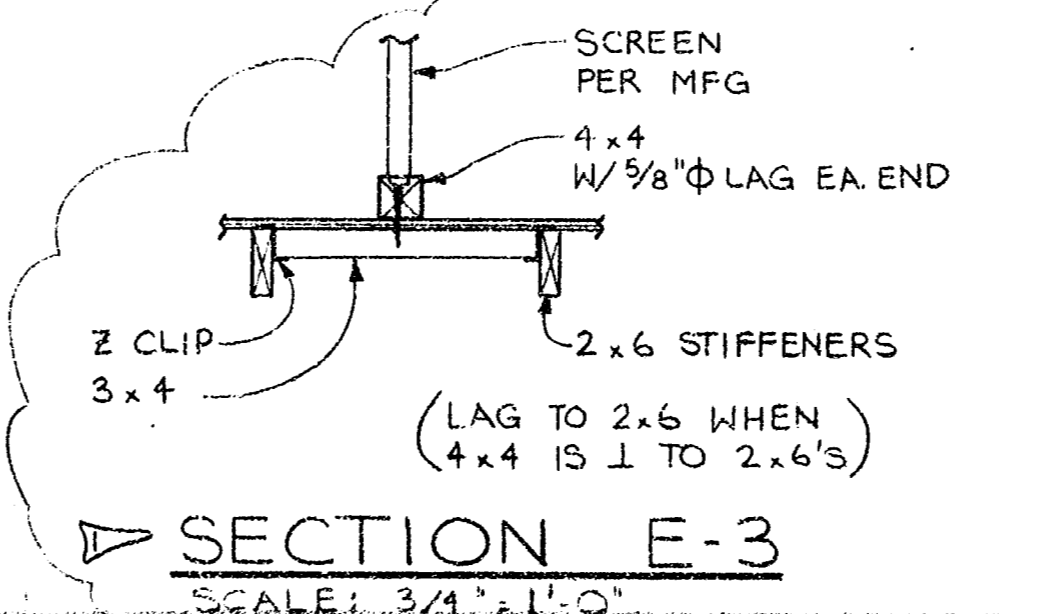
SECTION C-3  
SCALE: 3/4" = 1'-0"



SECTION D-3  
SCALE: 3/4" = 1'-0"



REFER TO SHEET S-5 FOR PRE-CAST PANEL REINFORCING AND NOTES.  
ALL PANELS ARE 7/4" THICK AND VIEWED FROM THE INSIDE.



**GENERAL NOTES**

CODE: UNIFORM BUILDING CODE, 1985

**LIVE LOADS:**  
ROOF: 25 PSF  
SEISMIC: ZONE III

**WIND: 80 MPH ZONE, EXPOSURE "B"**

**FOUNDATIONS:**  
FOUNDATION DESIGN PER REPORT #JN88-188 BY GEOTECH CONSULTANTS.  
ALLOWABLE SOIL BEARING 2000 PSF PER REPORT. ALL EXTERIOR FOOTINGS TO BE A MINIMUM OF 18 INCHES BELOW LOWEST ADJACENT GRADE. SOILS ENGINEER TO INSPECT AND APPROVE FOUNDATION EXCAVATIONS PRIOR TO POURING. ALL FOOTINGS AND SLABS SHALL BEAR ON COMPACTED STRUCTURAL FILL OR NATIVE SOILS IN ACCORDANCE WITH THE SOILS REPORT.

**CONCRETE:**  
F<sub>o</sub> = 2500 psi FOR FOOTINGS  
F<sub>o</sub> = 2500 psi FOR ALL SLABS ON GRADE  
F<sub>o</sub> = 3000 psi FOR PRECAST WALL PANELS  
MAX. SLUMP 4" PLUS OR MINUS 1"

**MIXING AND PLACING OF ALL CONCRETE SHALL BE IN ACCORDANCE WITH THE UBC AND ACI CODE 318.77. PROPORTIONS OF AGGREGATE TO CEMENT SHALL BE AS SUCH TO PRODUCE A DENSE, WORKABLE MIX WHICH CAN BE PLACED WITHOUT SEGREGATION OR EXCESS FREE SURFACE WATER. 3/4" CHAMFER ON ALL EXPOSED CONCRETE EDGES UNLESS INDICATED OTHERWISE ON ARCHITECTURAL DRAWINGS.**

**REINFORCING STEEL:**  
ALL REINFORCING SHALL CONFORM TO ASTM A615-82(S1). SLAB DOWELS SHALL BE GRADE 40 (F<sub>y</sub> = 40,000 psi; F<sub>s</sub> = 20,000 psi). OTHER REINFORCING SHALL BE GRADE 60 (F<sub>y</sub> = 60,000 psi; F<sub>s</sub> = 24,000 psi). LAP CONTINUOUS REINFORCING BARS 36 BAR DIAMETERS IN CONCRETE, 40 BAR DIAMETERS IN MASONRY, 11-7" MINIMUM UNLESS NOTED OTHERWISE. CORNER BARS (11-7" BEND) WILL BE PROVIDED FOR ALL HORIZONTAL REINFORCEMENT. DETAIL STEEL IN ACCORDANCE WITH THE ACI MANUAL OF STANDARD PRACTICE OR DETAILING REINFORCED CONCRETE STRUCTURES.  
WELDED WIRE FABRIC TO CONFORM TO ASTM A-82 AND A-185.  
WELDED HEAD STUDS SHALL CONFORM TO ASTM A-108 (F<sub>y</sub> = 55,000 psi).

**COVER TO MAIN REINFORCEMENT TO BE:**  
FOOTINGS: 3 INCHES  
FORMED SURFACES: WEATHER FACE: 1-1/2 INCHES  
INTERIOR FACE: 3/4 INCHES  
EARTH FACE: 2 INCHES

**WELDED REBAR:**  
WELDED REBAR (#5 AND SMALLER) TO BE GRADE 40. OTHER WELDED BARS MAY BE GRADE 40 OR 60. USE FRESH LOW HYDROGEN ELECTRODES TO WELD REINFORCING; CONFORM TO PROCEDURES OF AWS D1.4-86, STRUCTURAL WELDING CODE - REINFORCING STEEL. SEE PREHEAT REQUIREMENTS OF TABLE 5.2 OF THIS STANDARD. IF CARBON EQUIVALENT (C.E.) IS UNKNOWN, FOLLOW PREHEAT RECOMMENDATIONS FOR C.E. GREATER THAN 0.75%. ALL WELDS TO BE BY W.A.B.O. CERTIFIED WELDERS, GRADE 40 USE E 70 ELECTRODES.

**MISCELLANEOUS STEEL:**  
TUBES COLUMNS SHALL CONFORM TO ASTM A500, GRADE B (F<sub>y</sub> = 46,000 psi). MISCELLANEOUS STEEL SHALL CONFORM TO ASTM A-36 (F<sub>y</sub> = 36,000 psi). WELDS NOT SPECIFIED SHALL BE 3/16" CONTINUOUS FILLET MINIMUM. ALL WELDS TO BE BY W.A.B.O. CERTIFIED WELDERS. USE FRESH E60 ELECTRODES. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OF MISCELLANEOUS STEEL.

**MISCELLANEOUS STEEL HANGERS TO BE SIMPSON OR APPROVED EQUAL. FASTEN ALL HANGERS AS SPECIFIED BY MANUFACTURER UNLESS SHOWN OTHERWISE ON DRAWINGS. MACHINE BOLTS TO BE 3/30" ANCHOR BOLTS INTO CONCRETE MAY BE "KWIN BOLTS", "PARA BOLTS", OR EQUAL, ON CONDITION OF APPROVAL BY ENGINEER. MINIMUM EMBEDMENT PER UBC TABLE 26-G.**

**FRAMING LUMBER:**  
2 x 6 STIFFENERS: D.F. #2: F<sub>b</sub> = 1000 psi  
4 x 14 PURLINS (S4S): D.F. #1: F<sub>b</sub> = 1500 psi  
4 x 16 PURLINS (S4S): D.F. DENSE #1: F<sub>b</sub> = 1800 psi  
LUMBER NOT NOTED TO BE D.F. #2 OR BETTER.

**ALL GRADES SHALL CONFORM TO MWPA GRADING RULES FOR WESTERN LUMBER -- 1975 EDITION. ALL BOLTS HEADS AND NUTS BEARING AGAINST WOOD SHALL BE PROVIDED WITH STANDARD CUT WASHERS. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE TREATED. MAXIMUM MOISTURE CONTENT 19% AT INSTALLATION FOR ALL LUMBER.**

**GLUE-LAMINATED WOOD MEMBERS:**  
GLUE-LAMINATED WOOD ROOF BEAMS, KILN DRIED, INDUSTRIAL APPEARANCE. STRESS GRADE COMBINATION 24F-V4 (F<sub>b</sub> = 2400 psi; F<sub>v</sub> = 165 psi), AT SIMPLE SPAN ROOF BEAMS. STRESS GRADE COMBINATION 24F-V8 AT CANTILEVERED BEAMS (F<sub>b</sub> = 2400 psi; F<sub>v</sub> = 165 psi). GLU-LAMS MUST BE OBTAINED FROM AN APPROVED FABRICATOR. SUBMIT SHOP DRAWINGS TO ARCHITECT PRIOR TO FABRICATION.

**PLYWOOD:**  
ROOF SHEATHING: 5/8" C-D W/EXTERIOR GLUE... INDEX 40/20  
ALL PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD P.S. 1-74. NAILING SHALL BE AS INDICATED ON PLAN. CONTRACTOR IS TO CALL THE ENGINEER FOR INSPECTION OF ROOF DIAPHRAGM PRIOR TO COVERING.

**PRECAST PANELS:**  
PANEL LIFTING STRESSES ARE TO BE CHECKED BY THE CONTRACTOR AND HE SHALL PROVIDE REINFORCING STEEL AS REQUIRED FOR HIS METHOD OF HANDLING AND ERECTION OF PRECAST PANELS. USE STRONGBACKS AS REQUIRED AT EXCESSIVE PANEL OPENINGS. CONTINUOUS GROUT BETWEEN PANELS AND FOOTINGS TO BE A NON-SHRINKING TYPE. SEE DRAWINGS FOR ADDITIONAL NOTES REGARDING PRECAST PANELS.

**INSPECTIONS:**  
SOILS ENGINEER TO TAKE COMPACTION TESTS WITHIN BUILDING AREA AND IN PARKING LOT IN ALL FILL AREAS. COMPACTION TO BE AS REQUIRED BY SOILS REPORT.  
SOILS ENGINEER TO INSPECT FOUNDATION EXCAVATIONS PRIOR TO POURING FOOTINGS.

**AN INDEPENDENT TESTING LAB APPROVED BY THE ARCHITECT SHALL INSPECT CONCRETE AND REBAR AS FOLLOWS:**  
INSPECT REBAR PLACEMENT PRIOR TO POURING. TAKE 3 CYLINDERS FOR EACH CONCRETE POUR. CYLINDERS TO BE TESTED AT 7, AND 28 DAYS. HOLD 3RD CYLINDER FOR FURTHER TESTING, IF REQUIRED.

**SPECIAL CONDITIONS:**  
DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING, AND GUYING IN ACCORDANCE WITH SOUND PRACTICE AND ALL NATIONAL, STATE, AND LOCAL CODES. CONTRACTOR TO COORDINATE ALL TRADES AND VERIFY DIMENSIONS IN FIELD. OBTAIN ARCHITECT'S APPROVAL PRIOR TO ALL FIELD CHANGES. SEE ARCHITECTURAL DRAWINGS FOR ALL FLOOR AND WALL OPENING DIMENSIONS AND LOCATIONS, FLOOR AND WALL FINISHES, ETC.

PROPOSED NEW BUILDING

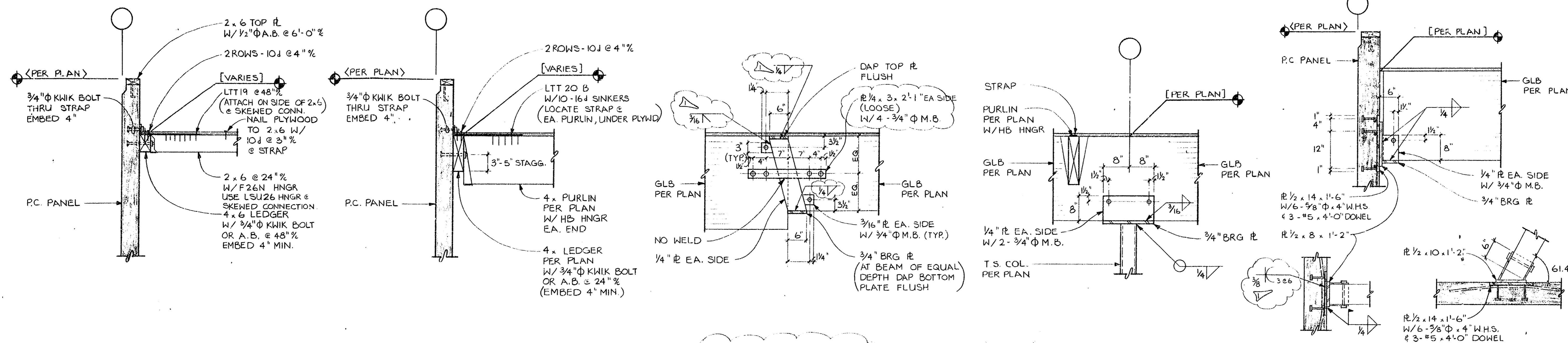
4650 SOUTHCENTER BLVD.  
TUKWILA, WASH.

NOV 2 1988

RICHARD HUDSON & ASSOCIATES, INC.  
CONSULTING ENGINEERS  
1605 12TH AVENUE • SUITE 18  
SEATTLE, WASHINGTON 98122  
206-324-6160

24x

24x



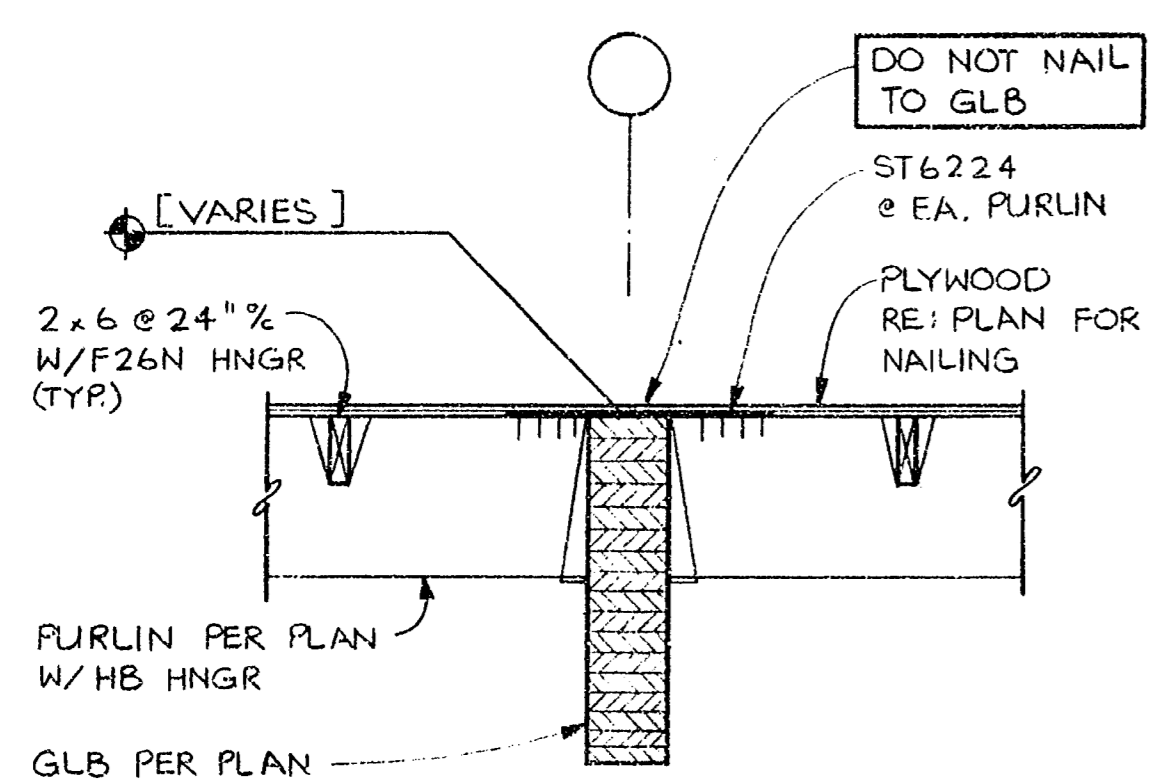
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SECTION B-4  
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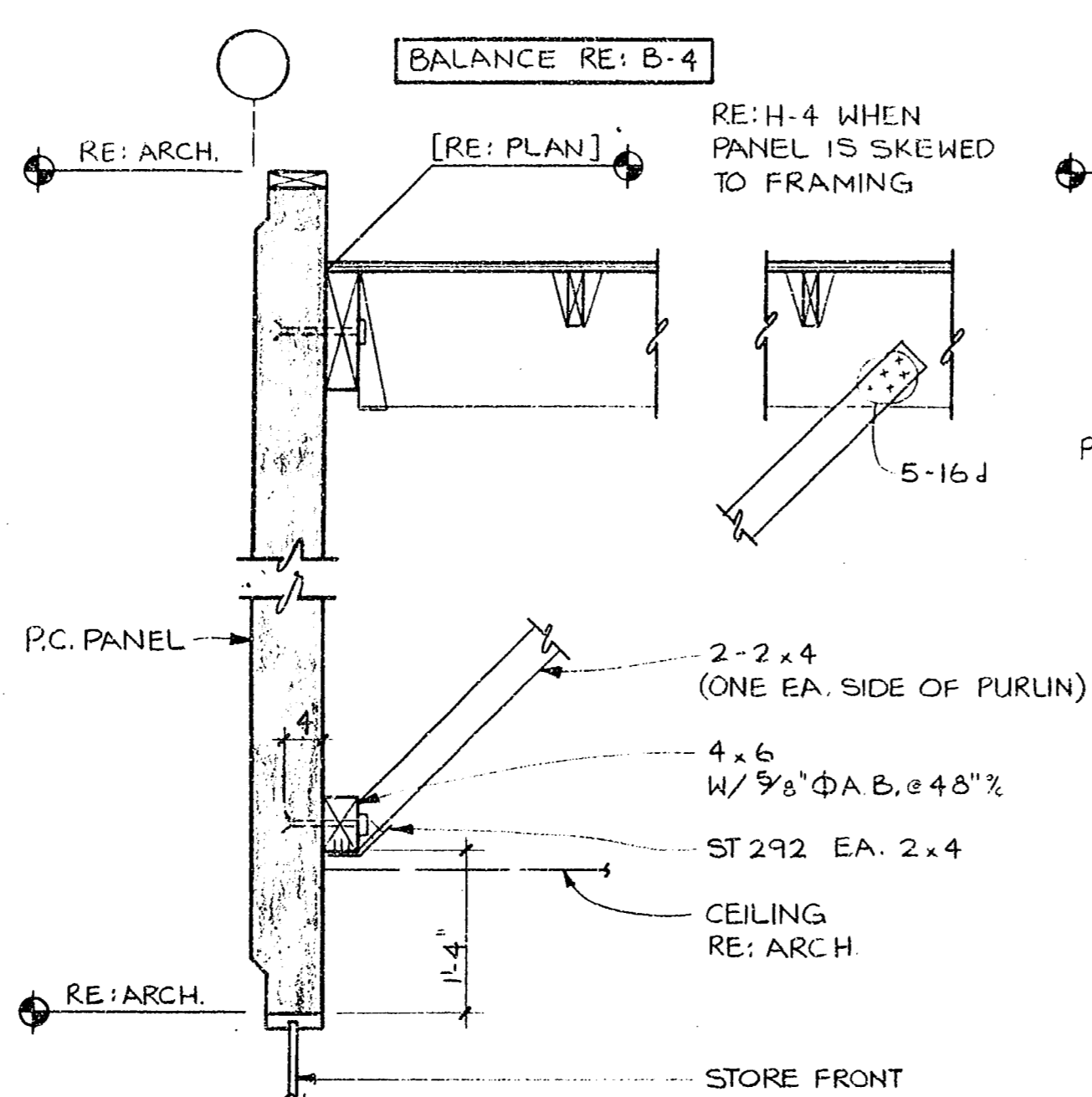
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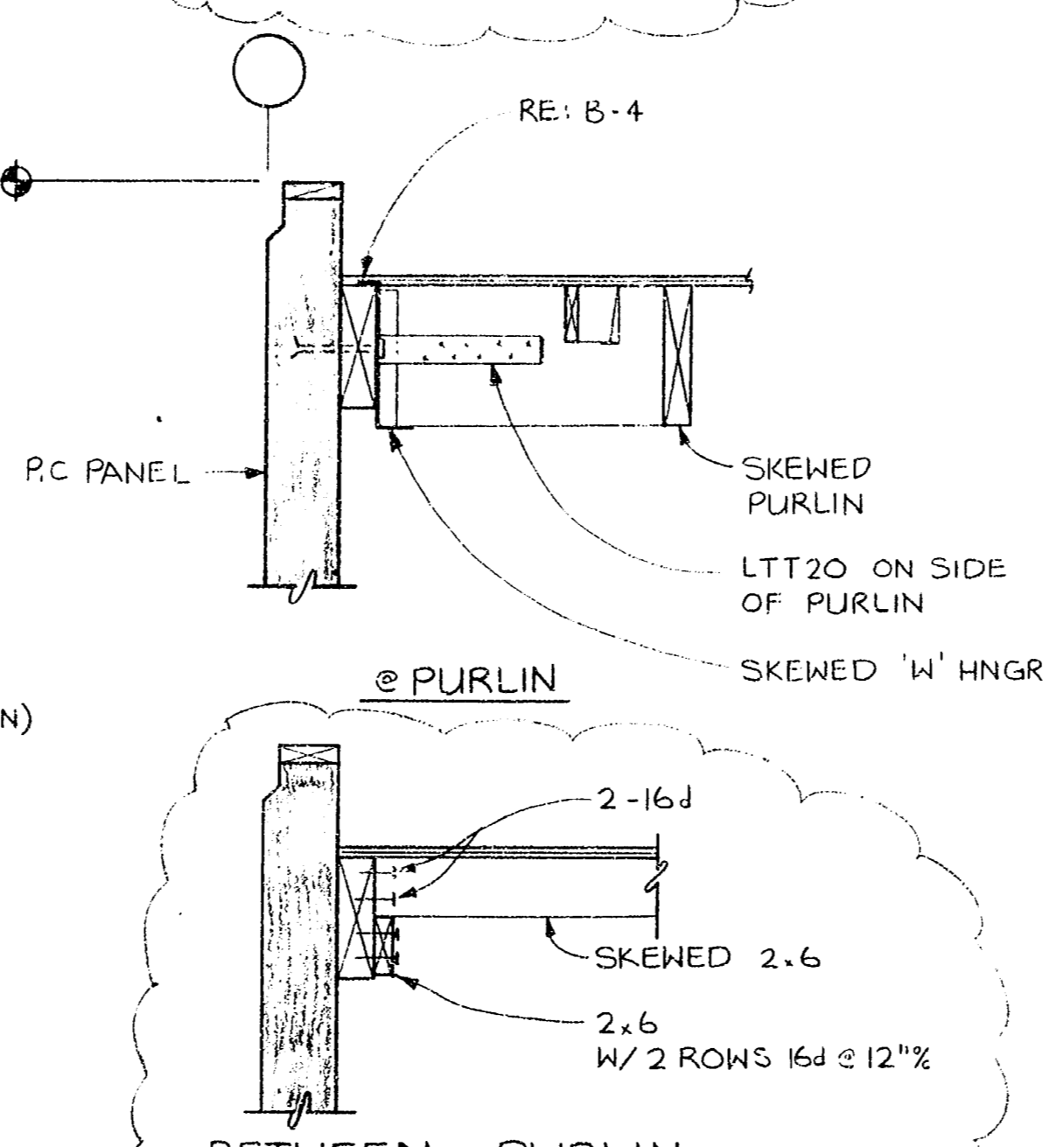
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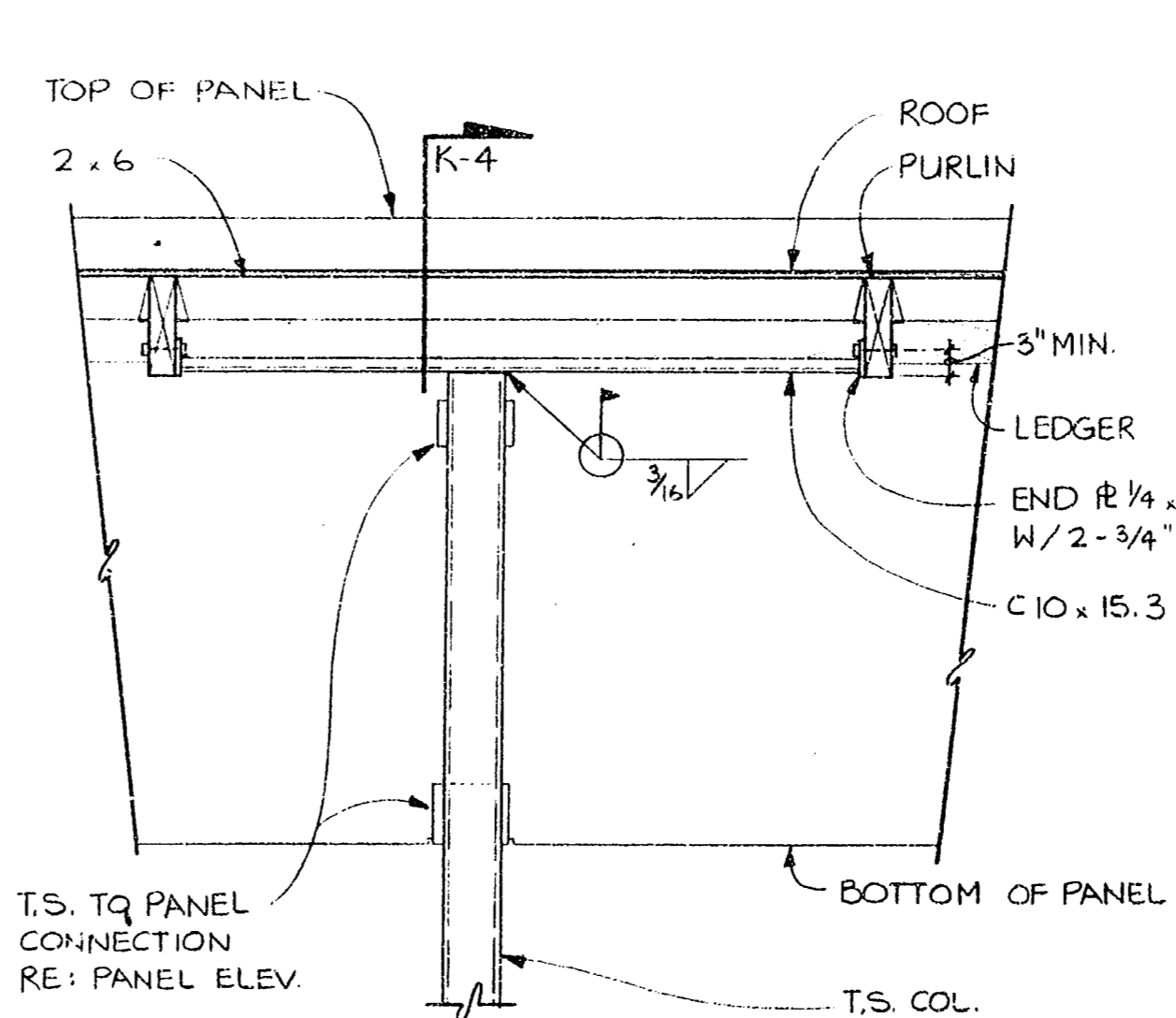
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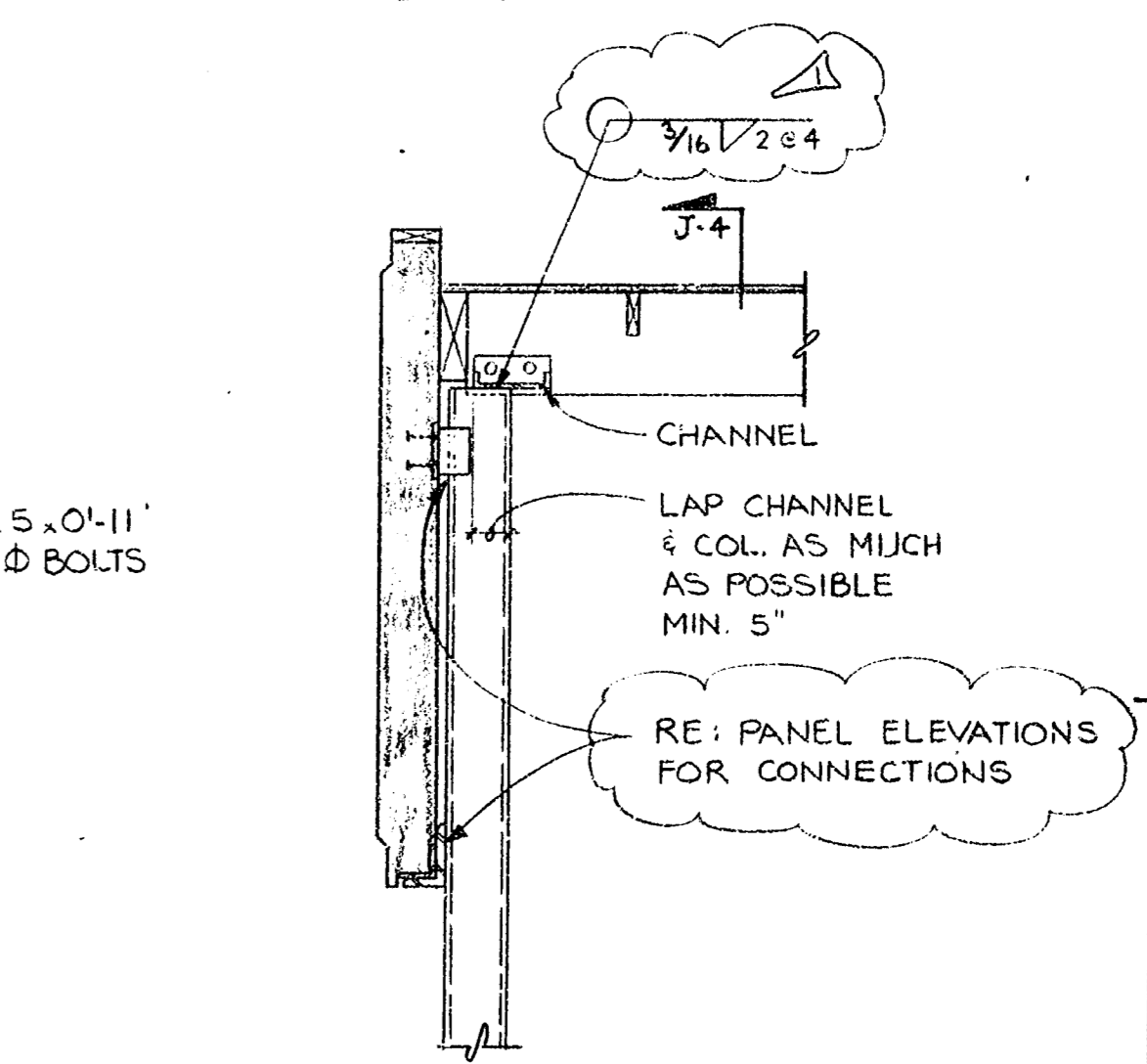
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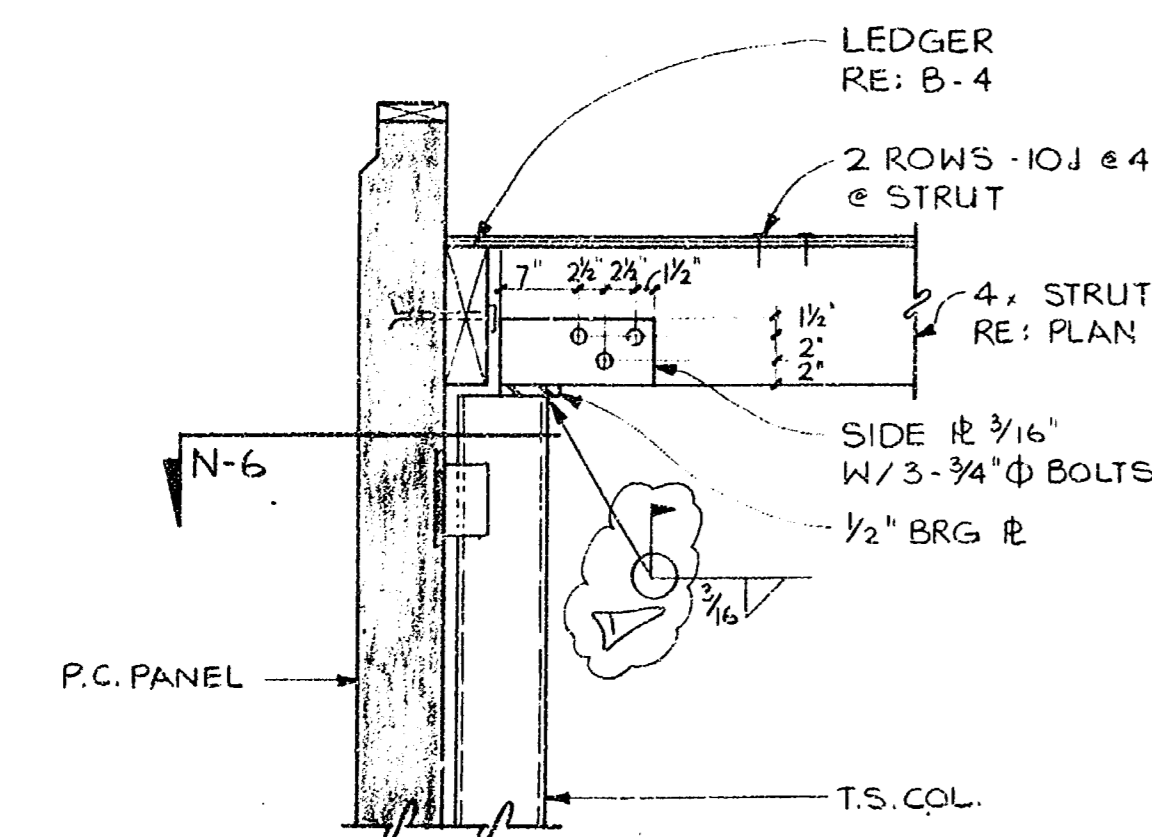
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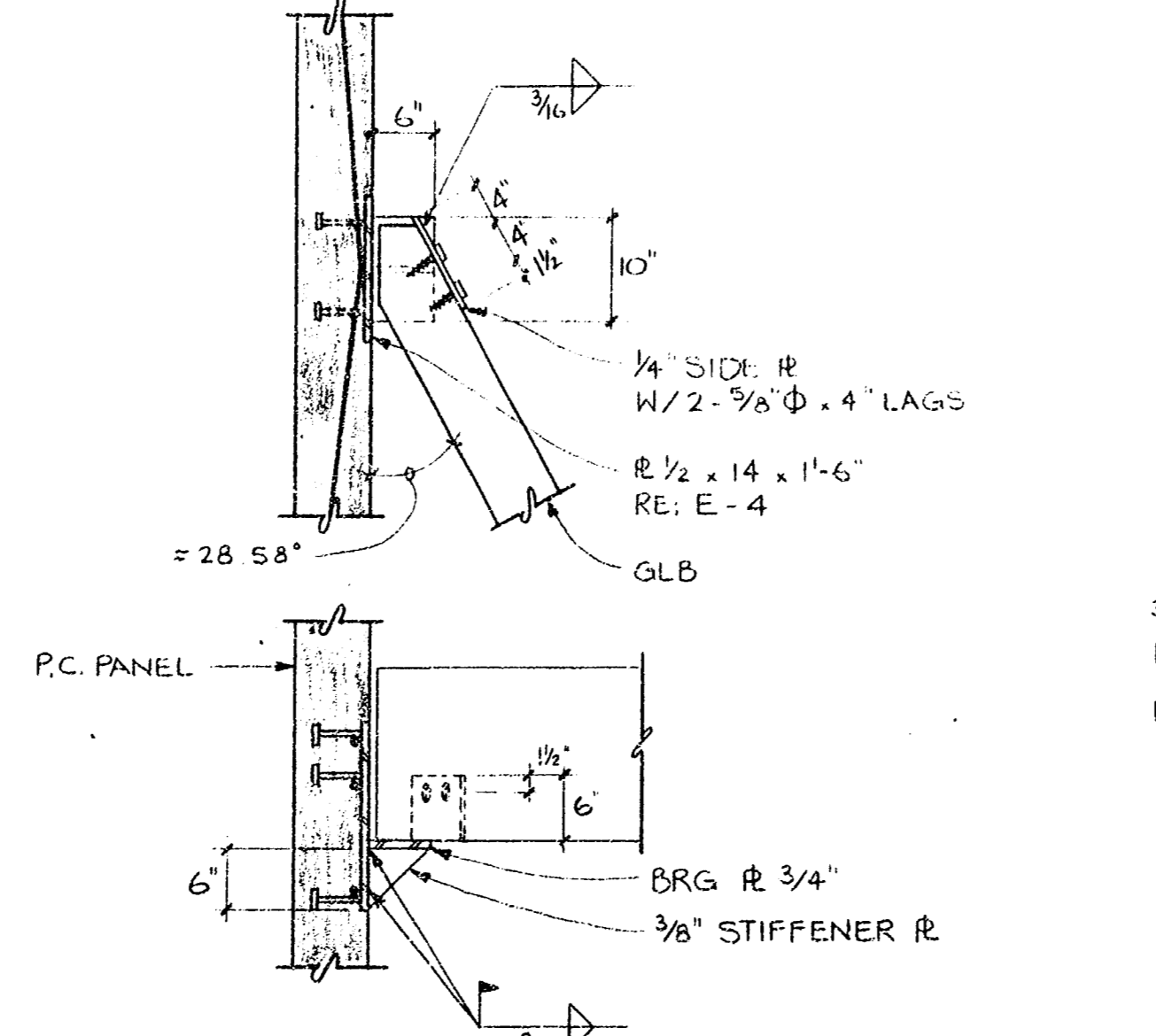
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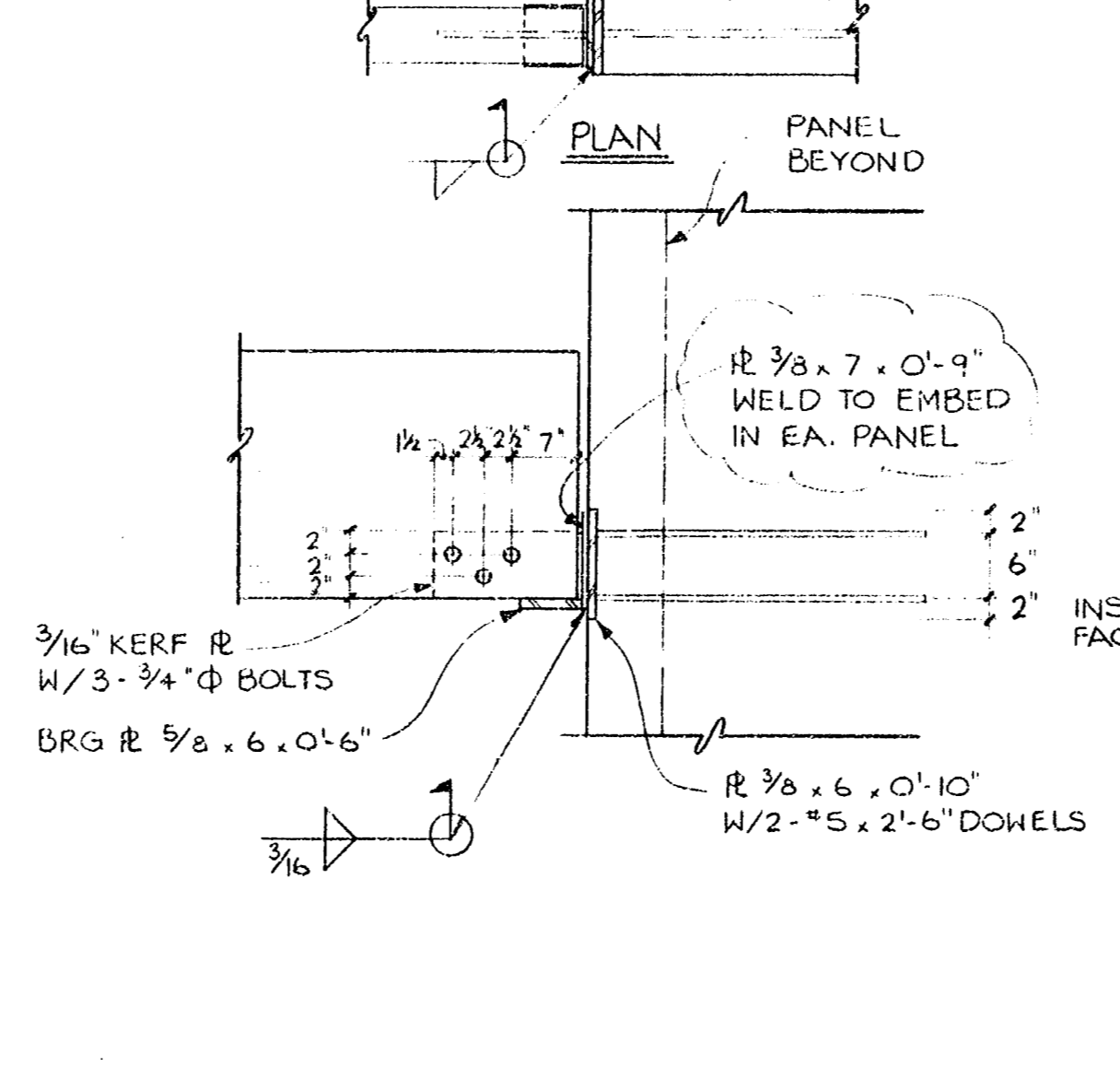
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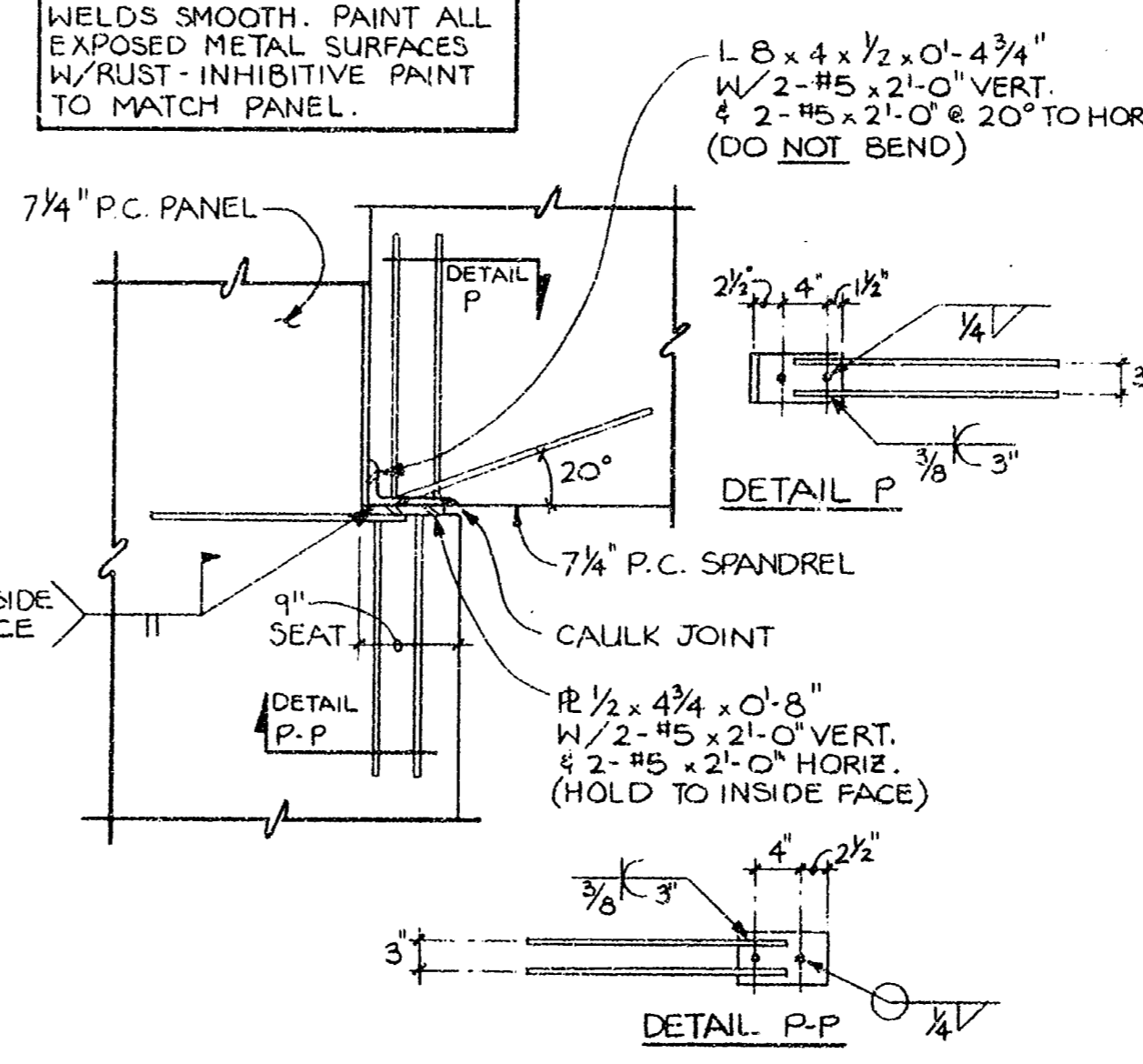
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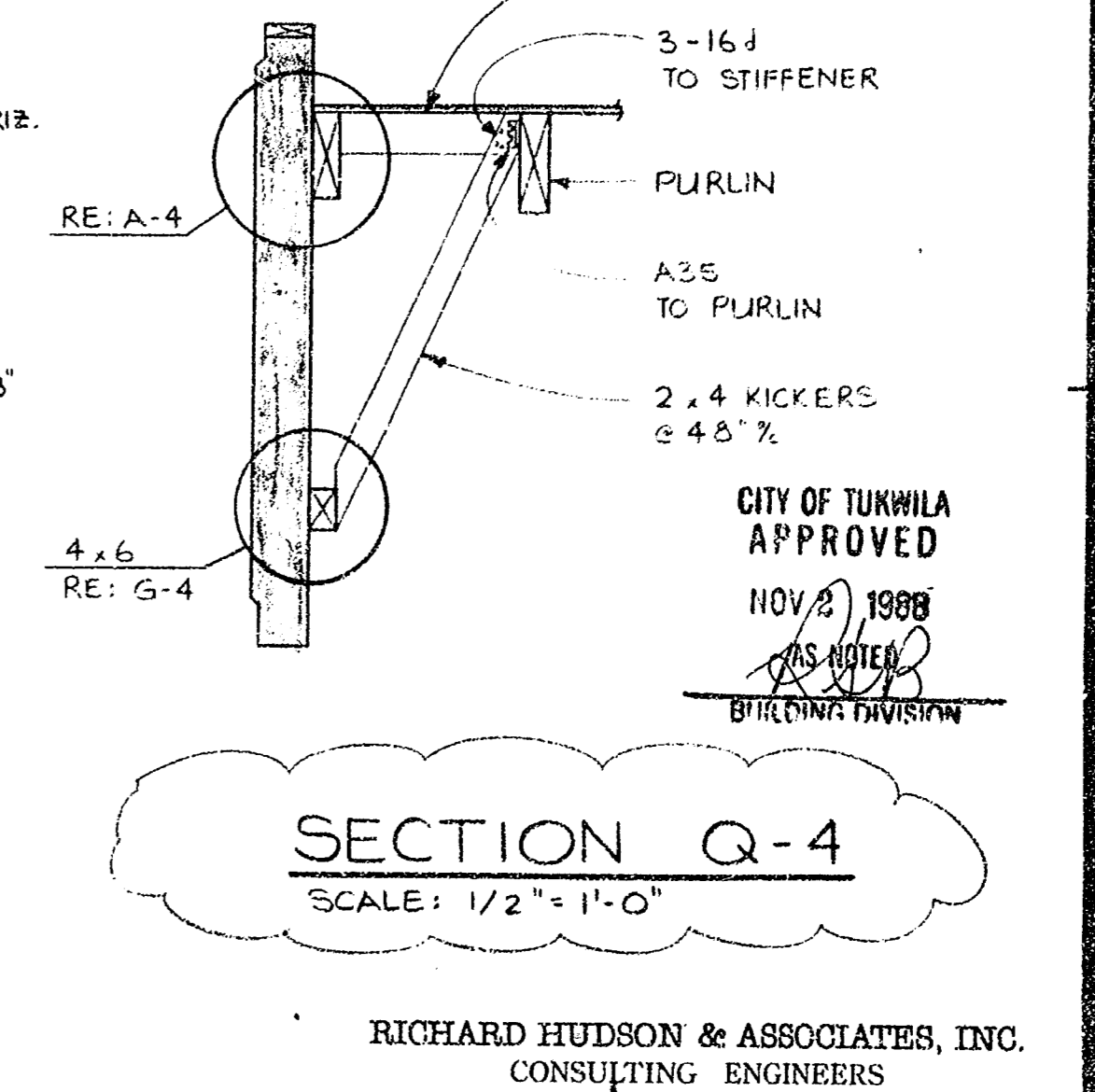
SECTION M-4  
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SECTION N-4  
SCALE: 3/4"=1'-0"



SECTION O-4  
SCALE: 3/4"=1'-0"



SECTION P-4  
SCALE: 1/2"=1'-0"

NOTE: GRIND ALL EXPOSED WELDS SMOOTH. PAINT ALL EXPOSED METAL SURFACES WITH RUST-INHIBITIVE PAINT TO MATCH PANEL.

1/8" x 4" x 1/2" x 0'-4 3/4" W/2-15 x 2'-0" VERT. 4-2-15 x 2'-0" @ 20° TO HORIZ. (DO NOT BEND)

1/8" x 4" x 1/2" x 0'-4 3/4" W/2-15 x 2'-0" VERT. 4-2-15 x 2'-0" @ 20° TO HORIZ. (HOLD TO INSIDE FACE)

david kehle, architect  
WASHINGTON 98101

PROPOSED NEW BUILDING

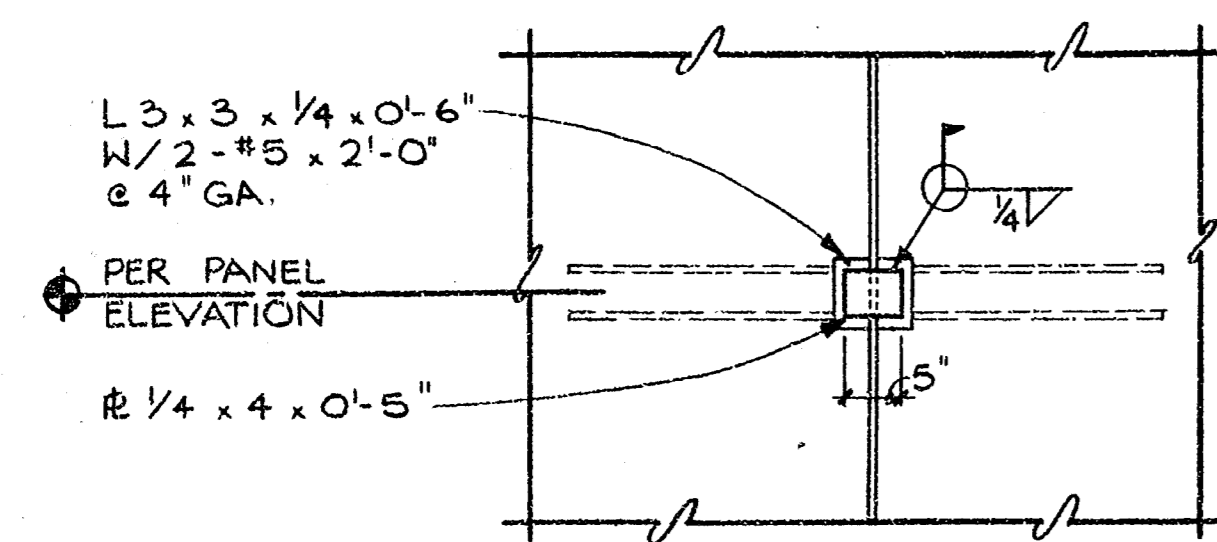
S-4 OF 6

4650 SOUTHCENTER BLVD.  
TUMWIL, WASH.

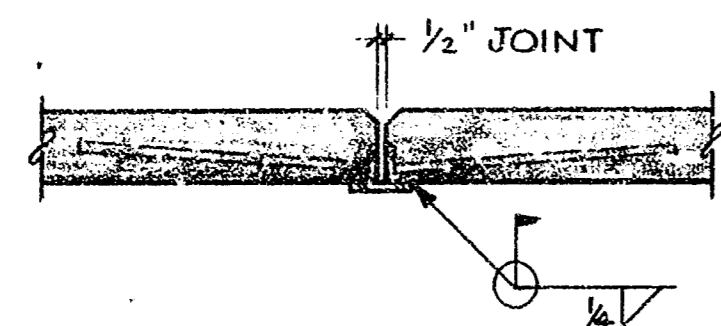
RICHARD HUDSON & ASSOCIATES, INC.  
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1605 12TH AVENUE, SUITE 18  
SEATTLE, WASHINGTON 98122  
206-324-0160

24x

24x

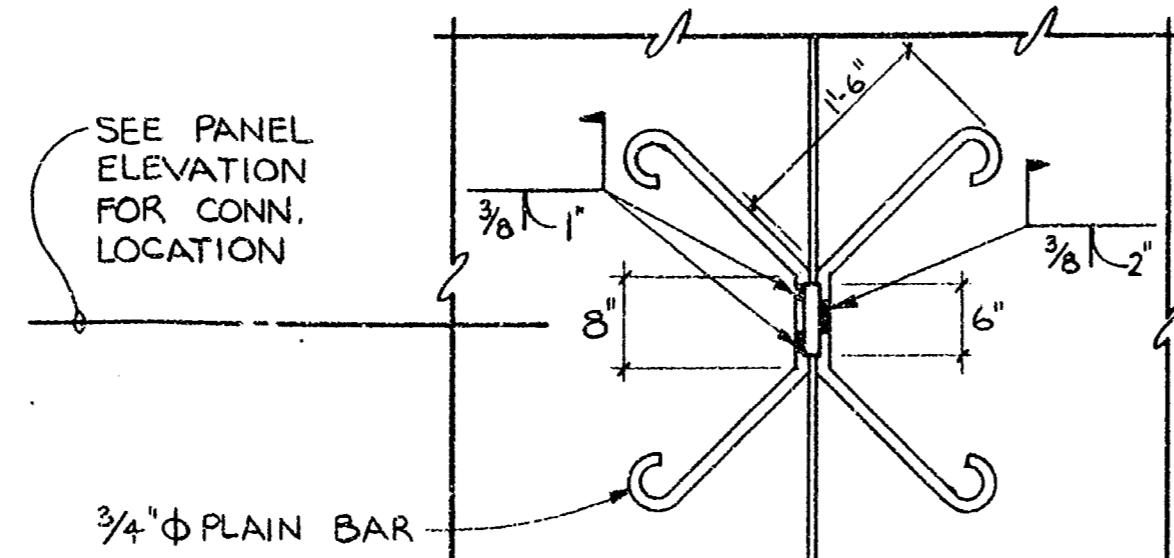


ELEVATION



PLAN

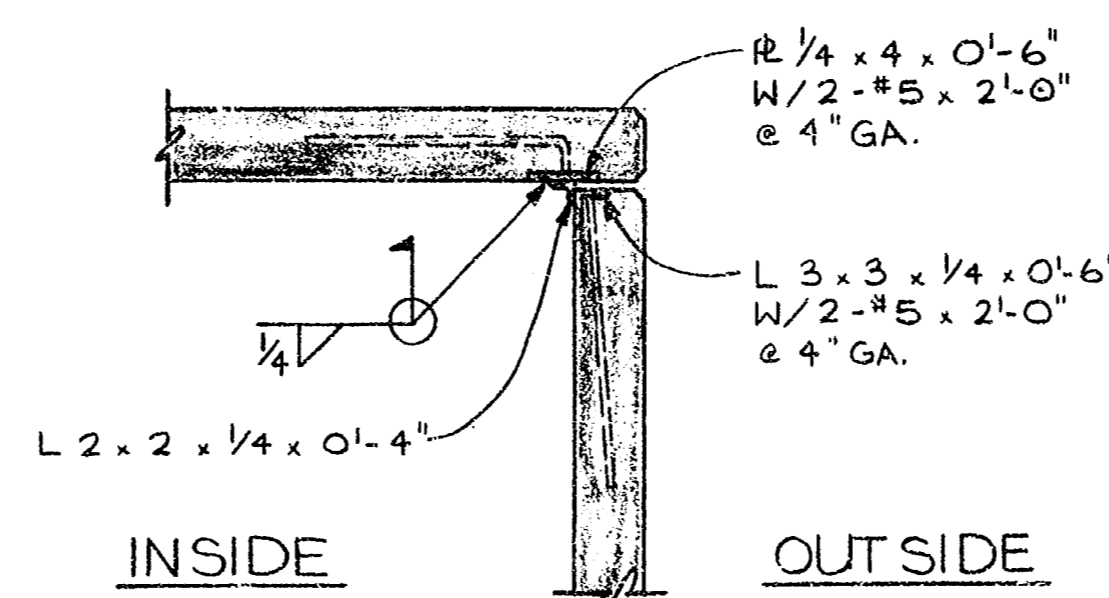
TYPE 'A' CONNECTION



ELEVATION

PLAN

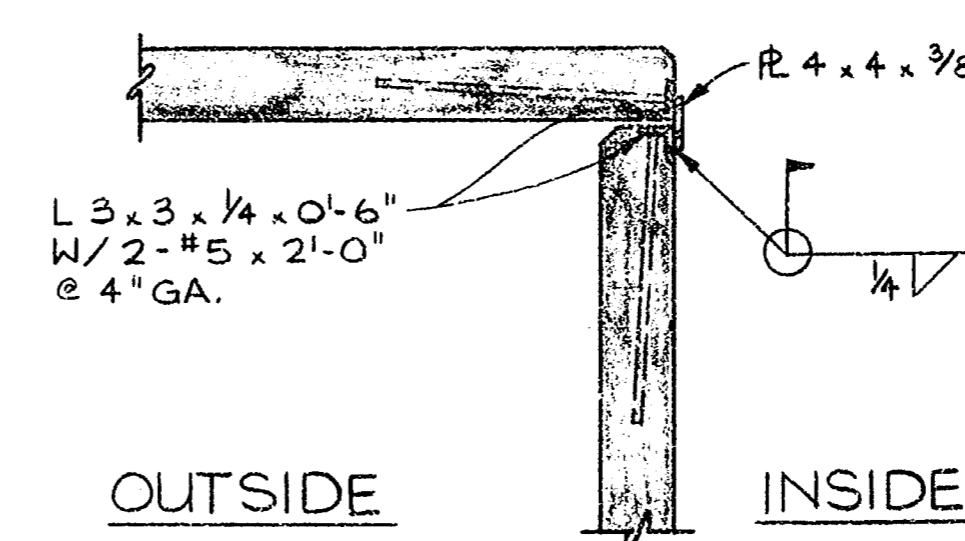
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INSIDE

OUTSIDE

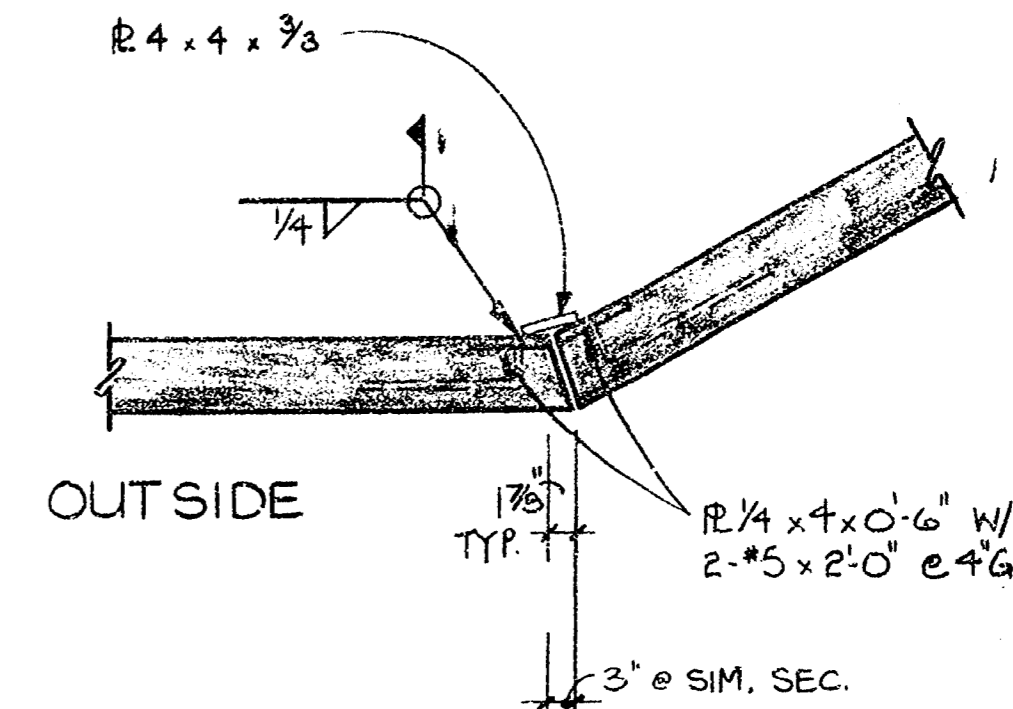
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OUTSIDE

INSIDE

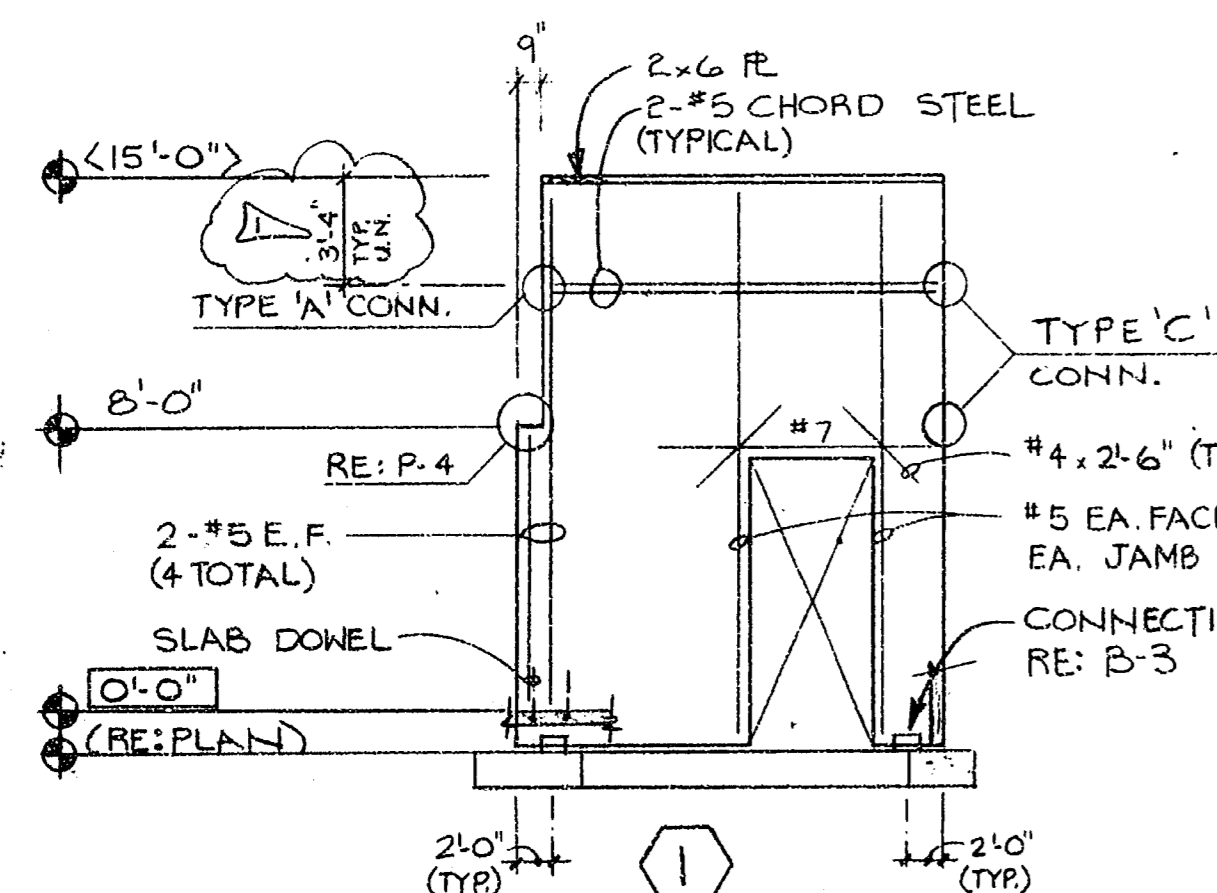
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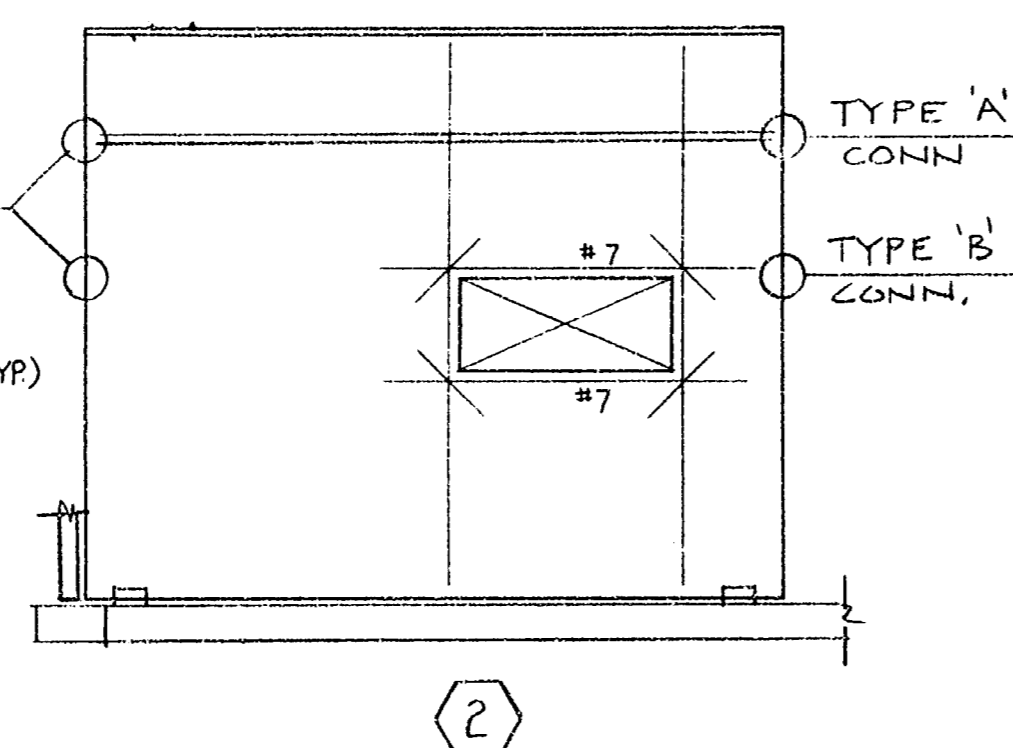
OUTSIDE

3" @ SIM. SEC.

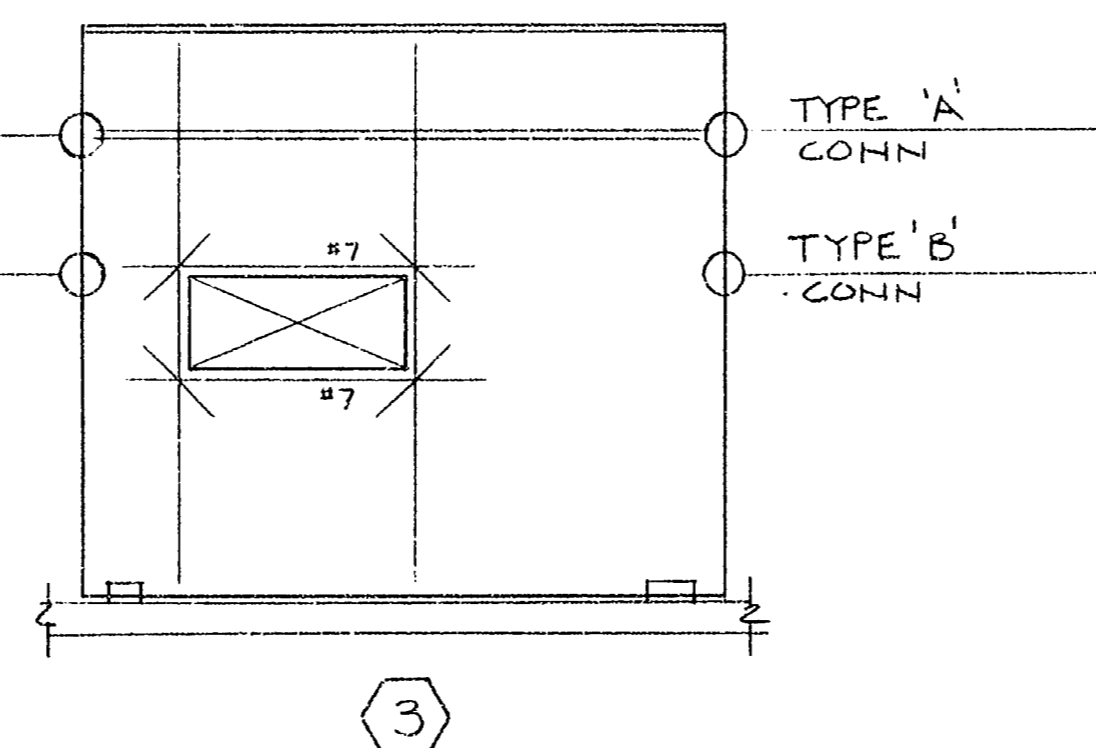
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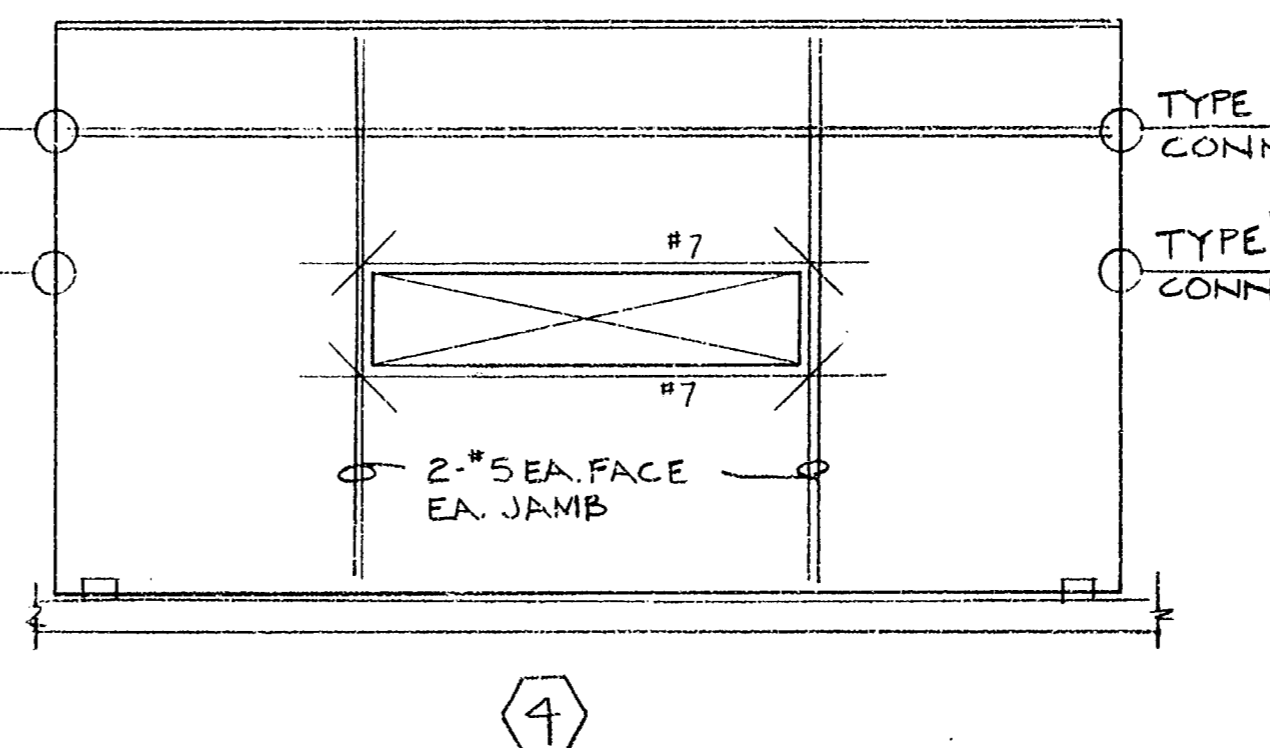
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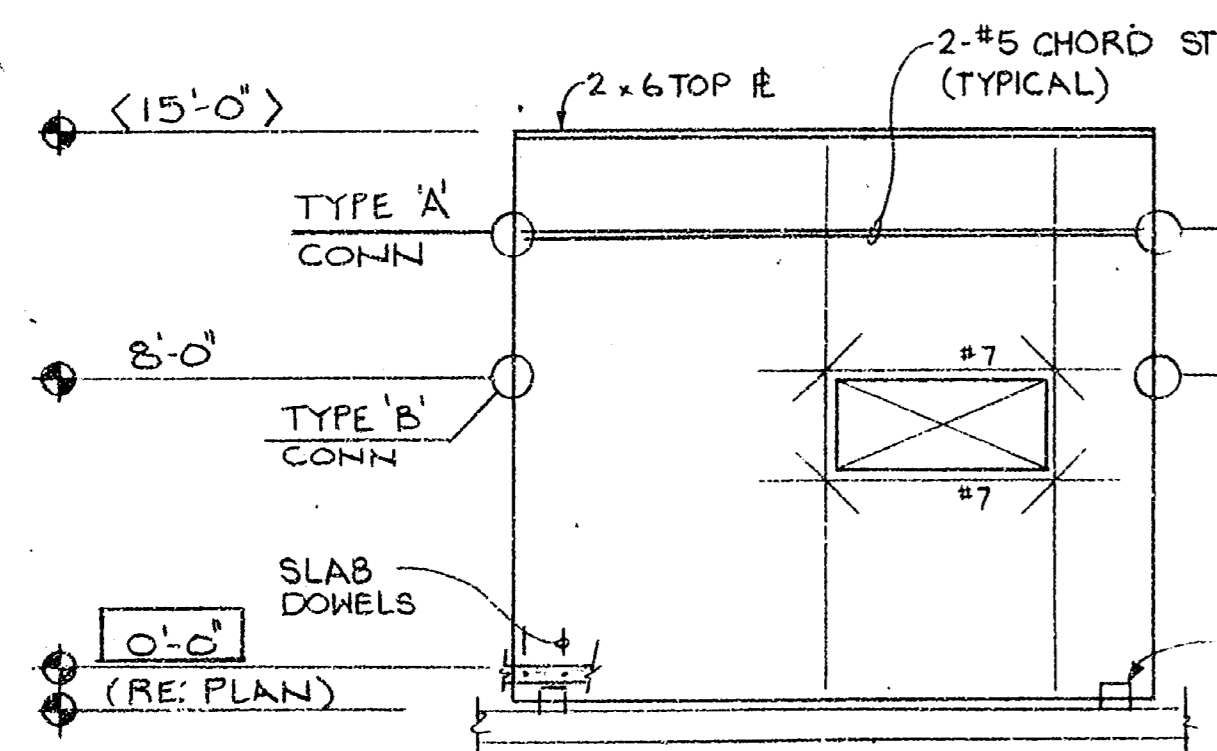
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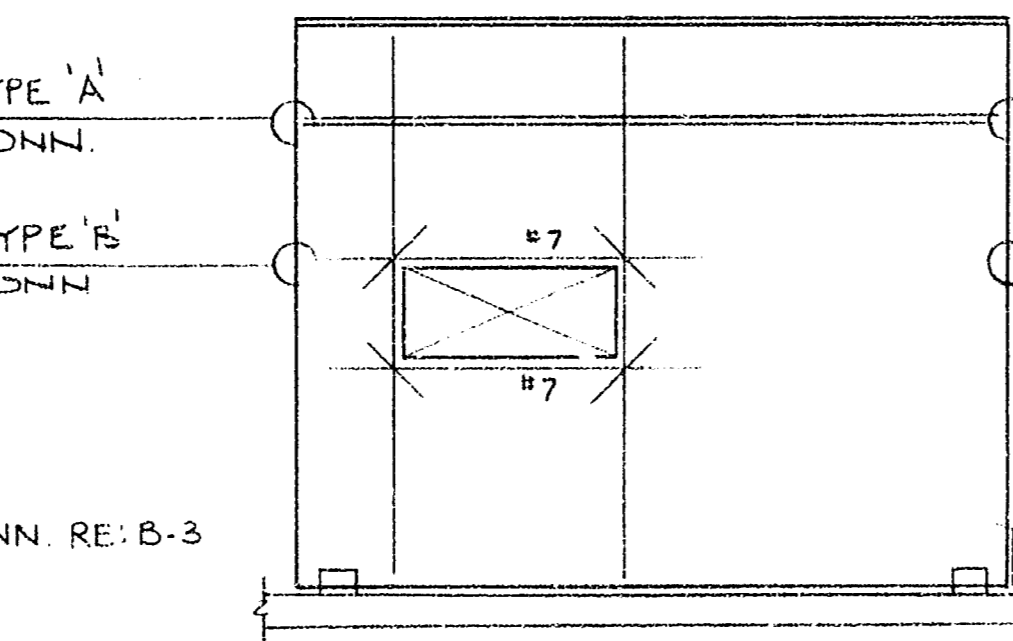
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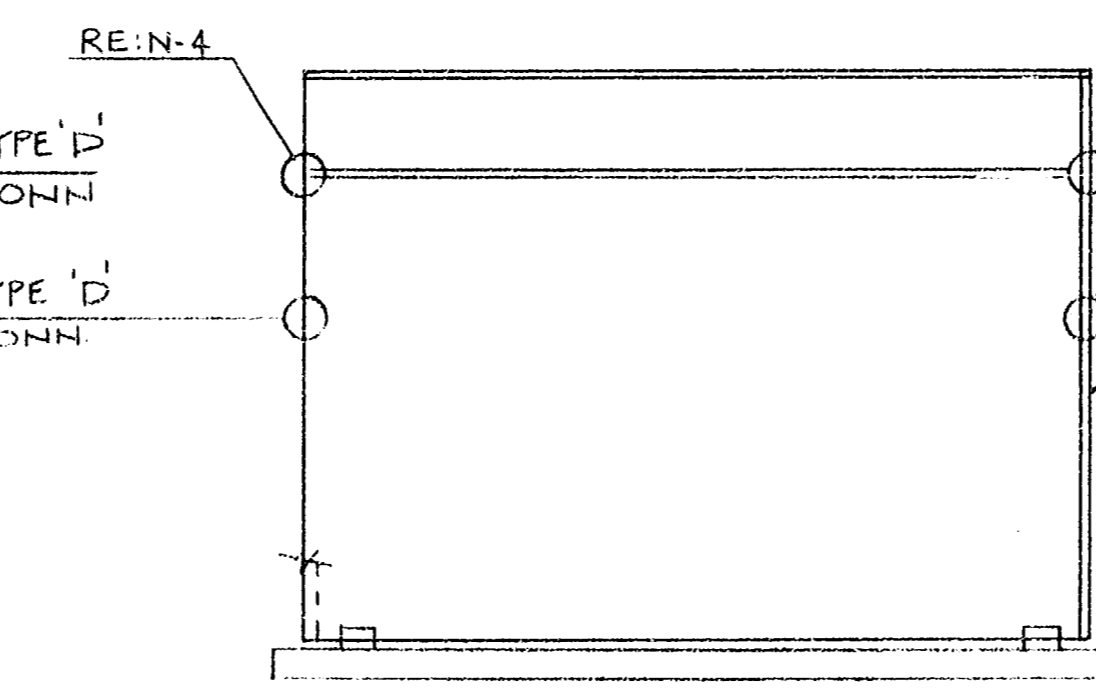
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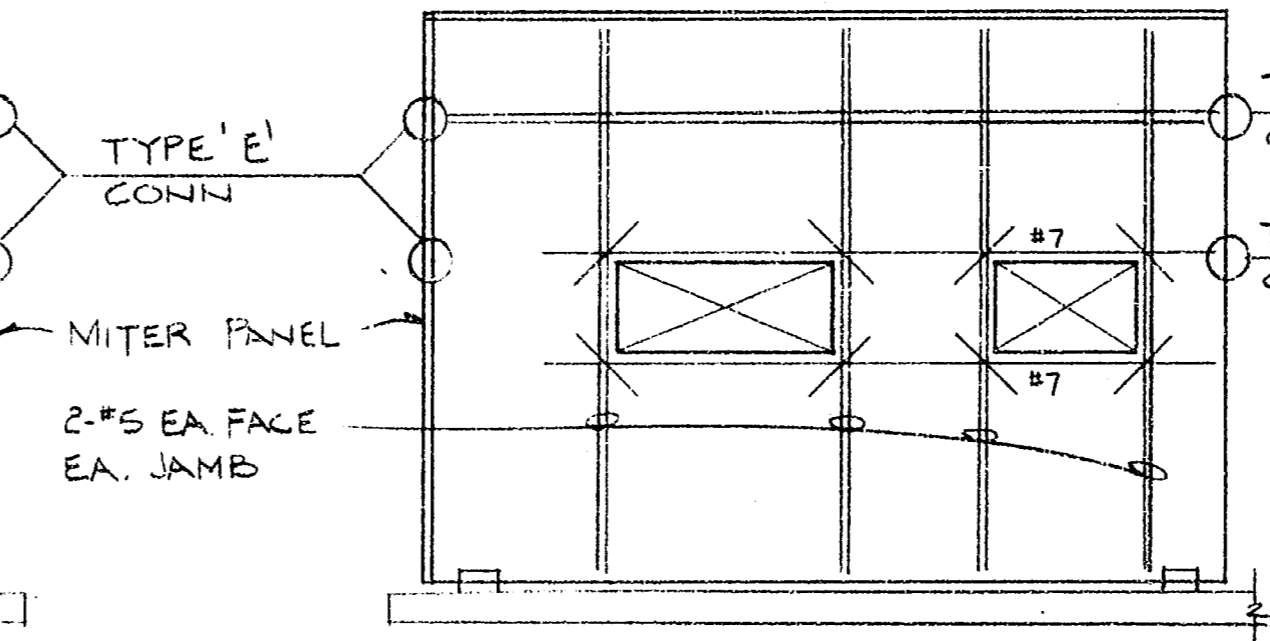
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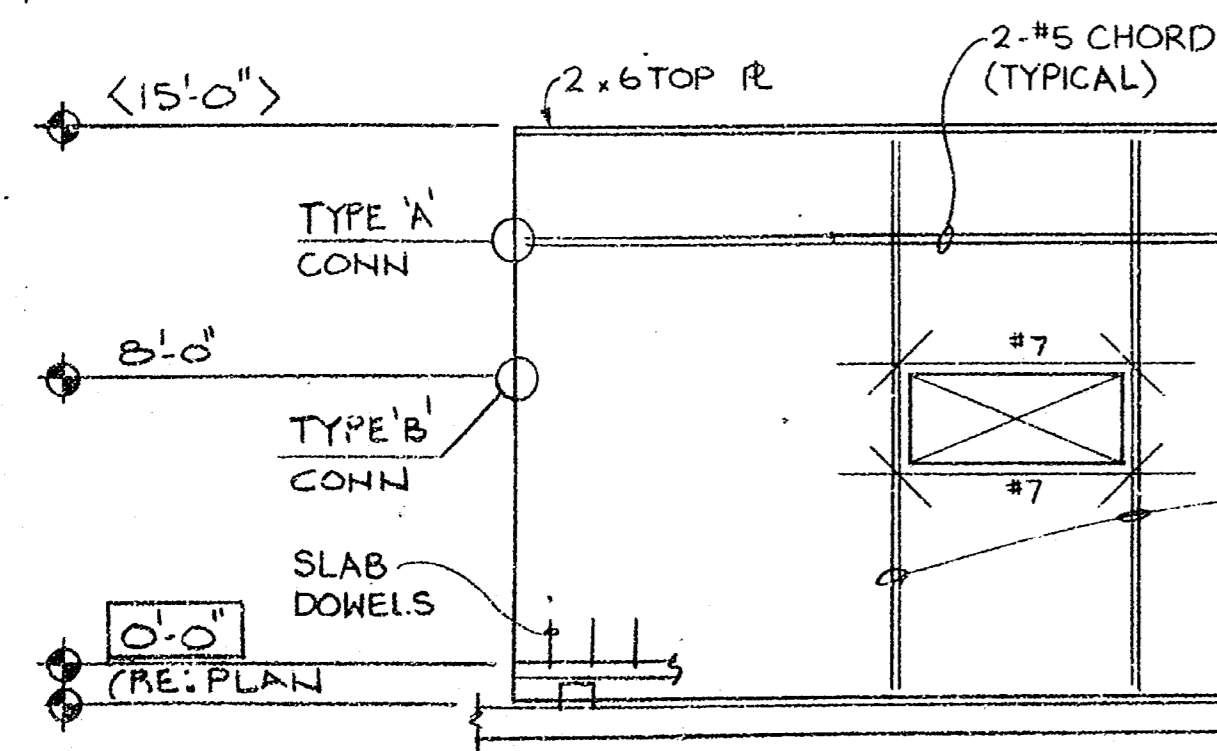
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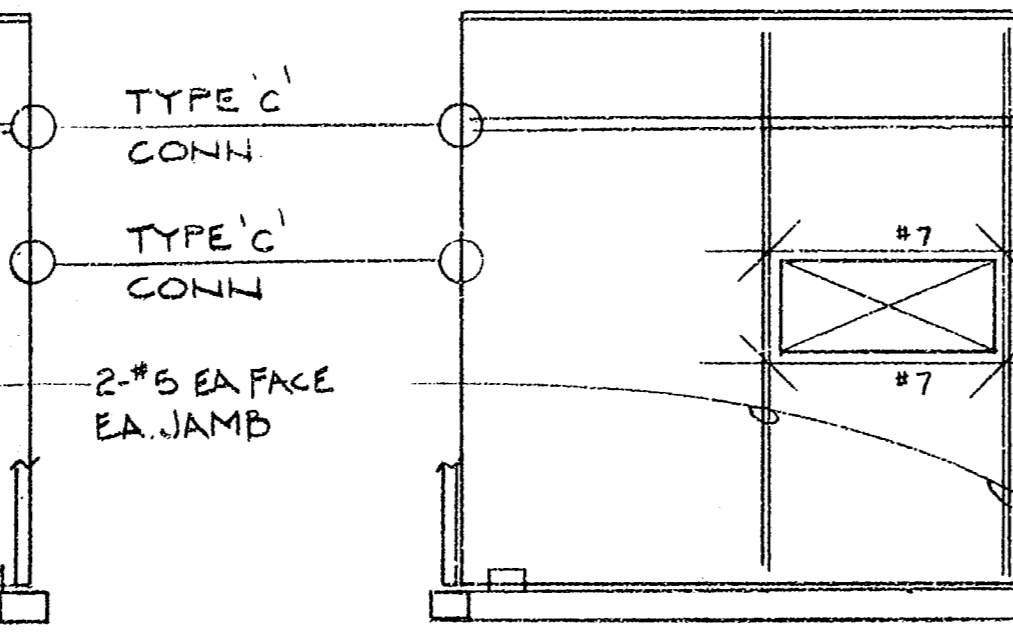
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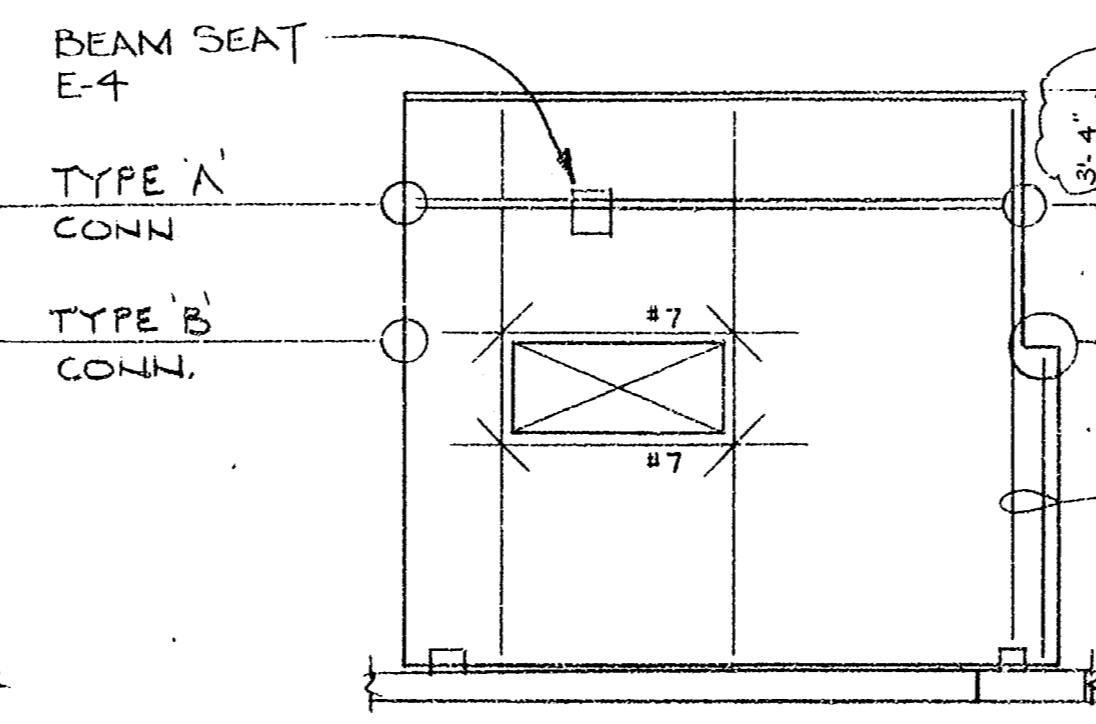
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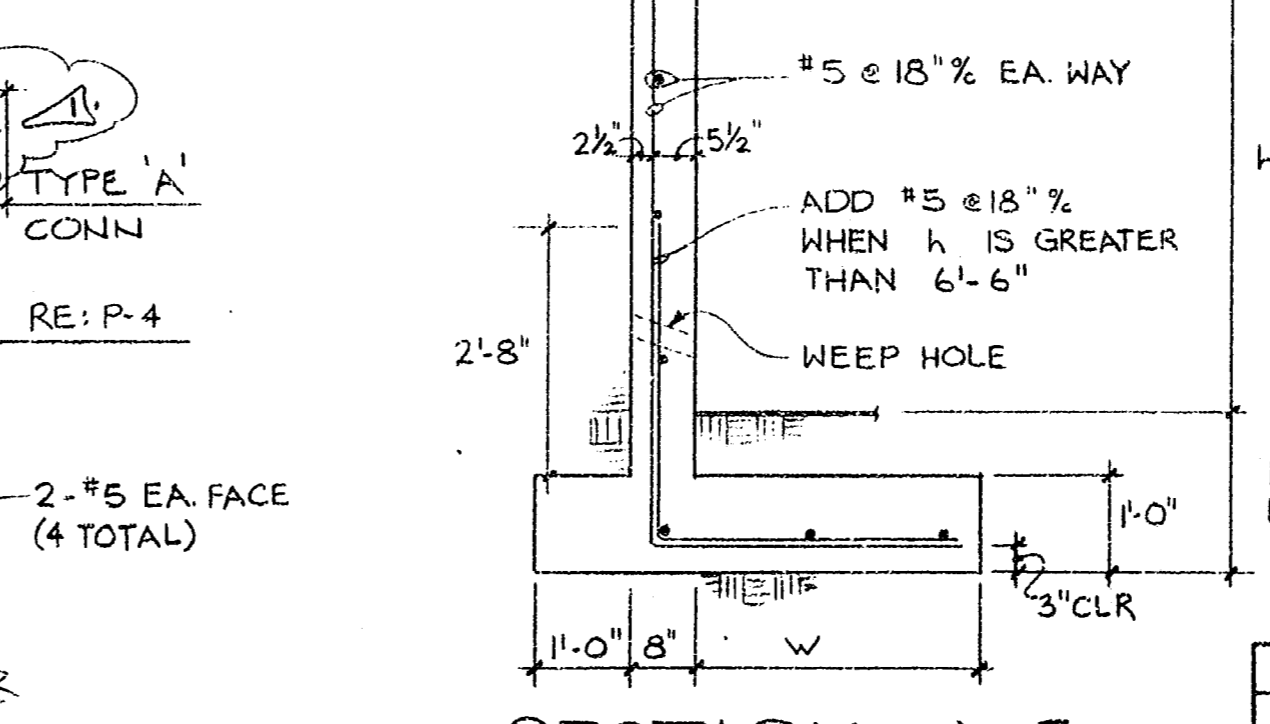
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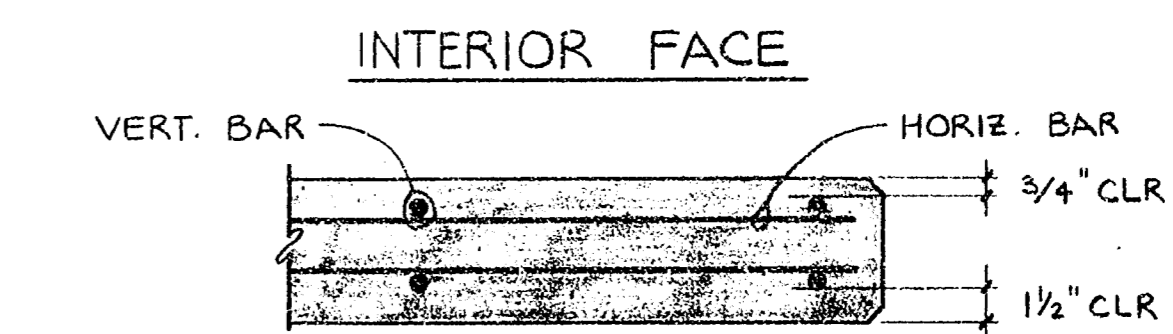


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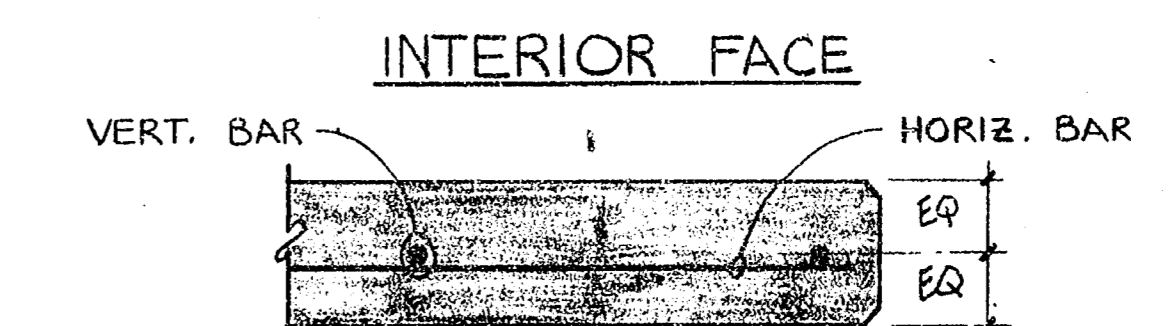


SECTION A-5

SCALE: 1/2" = 1'-0"



TYPICAL DOUBLE MAT REBAR PLACEMENT



TYPICAL SINGLE MAT REBAR PLACEMENT

NOTES: 5/8" IS MINIMUM NET THICKNESS FOR PRECAST PANELS. INCREASE PANEL THICKNESS FOR REVEALS EXPOSED AGGREGATE FINISH, OR ANY ARCHITECTURAL FINISH, AS REQUIRED TO MAINTAIN 5/8" MINIMUM NET THICKNESS.

TYPICAL PANEL IS 7/8" THICK. PANELS ARE VIEWED FROM INSIDE.

PRECAST PANEL REINFORCEMENT

- 1) TYPICAL PANEL REINFORCING #4 @ 14" VERT., #4 @ 14" HORIZ.
- 2) PROVIDE 1-#5 VERT. EA. FACE @ PANEL OPENINGS.
- 3) PROVIDE 1-#7 HORIZ. TOP & BOTTOM ALL OPENINGS. (EXTEND 2'-0" BEYOND OPENINGS).
- 4) PROVIDE #4, 2'-6" DIAGONAL AT CORNERS ALL OPENING.

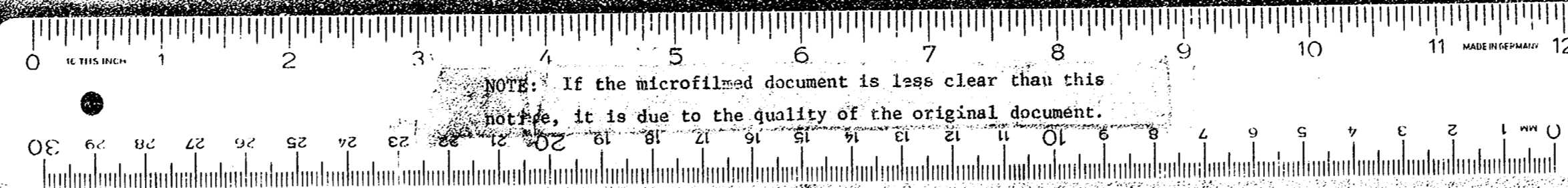
5464

CITY OF TUKWILA  
APPROVED  
NOV 9 1995  
BUILDING DEPARTMENT

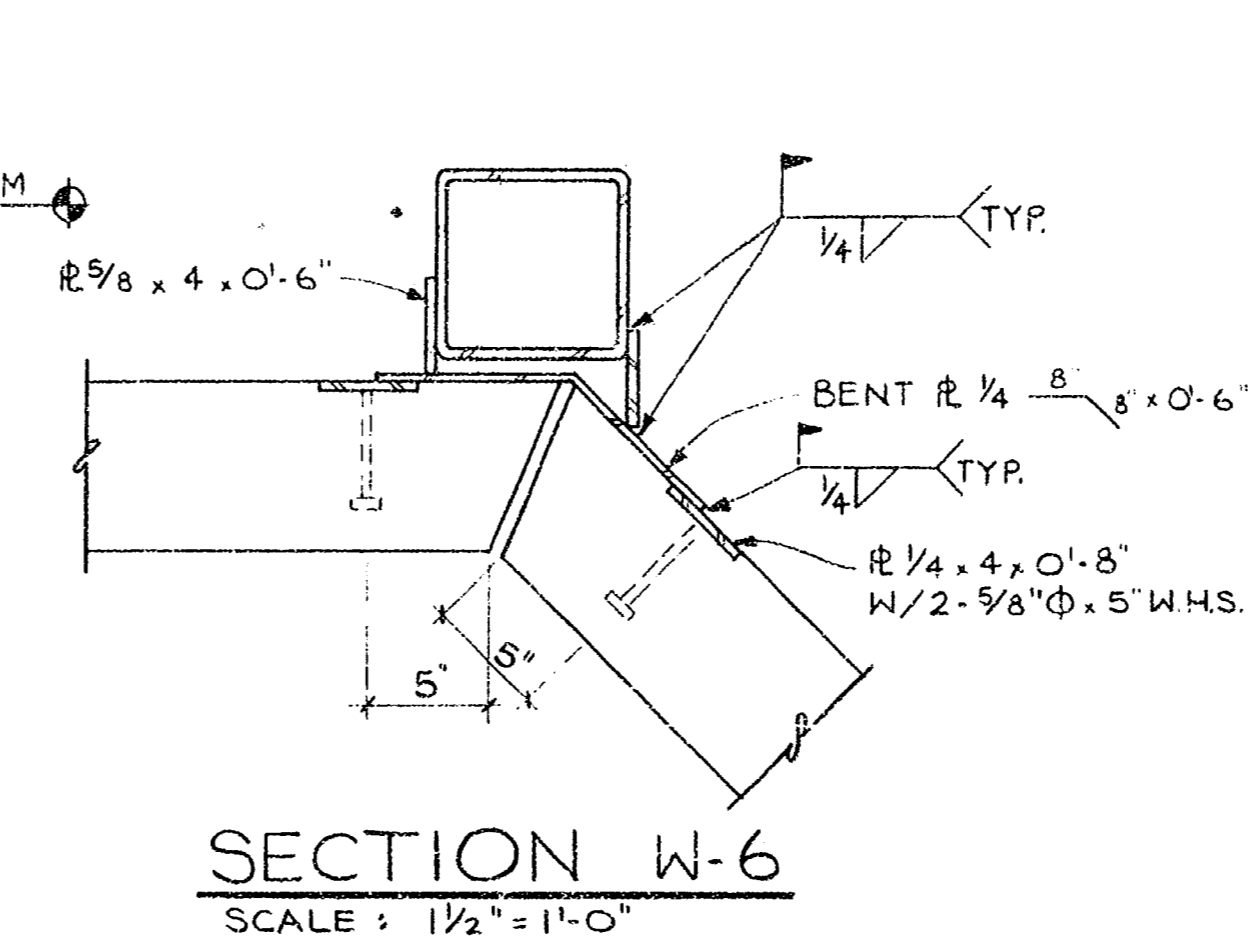
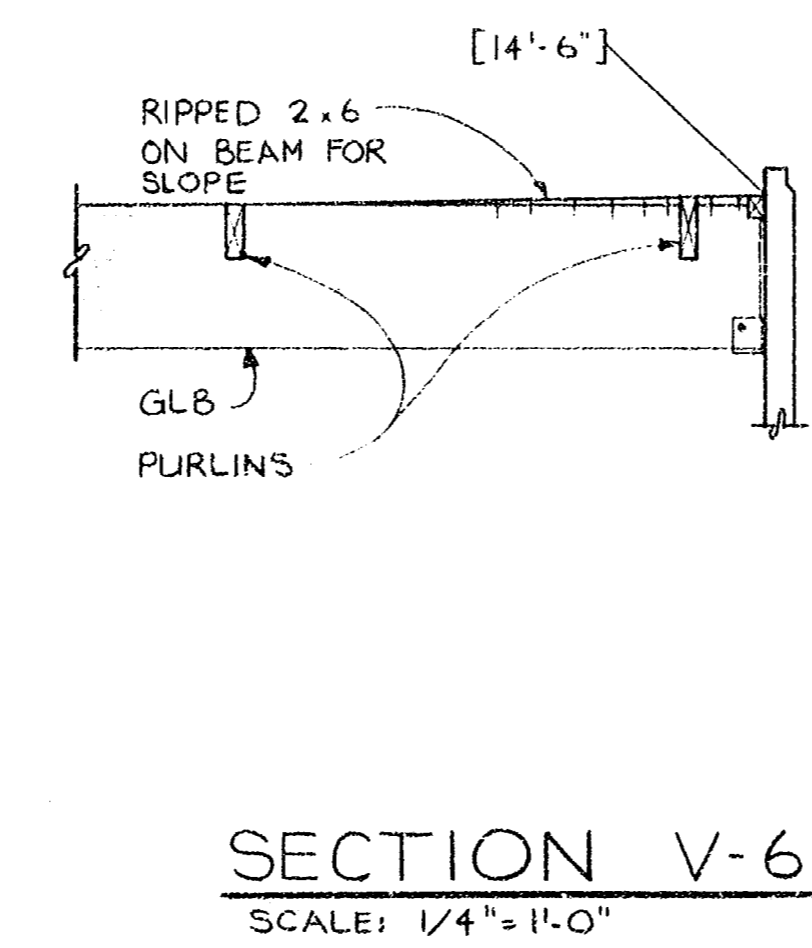
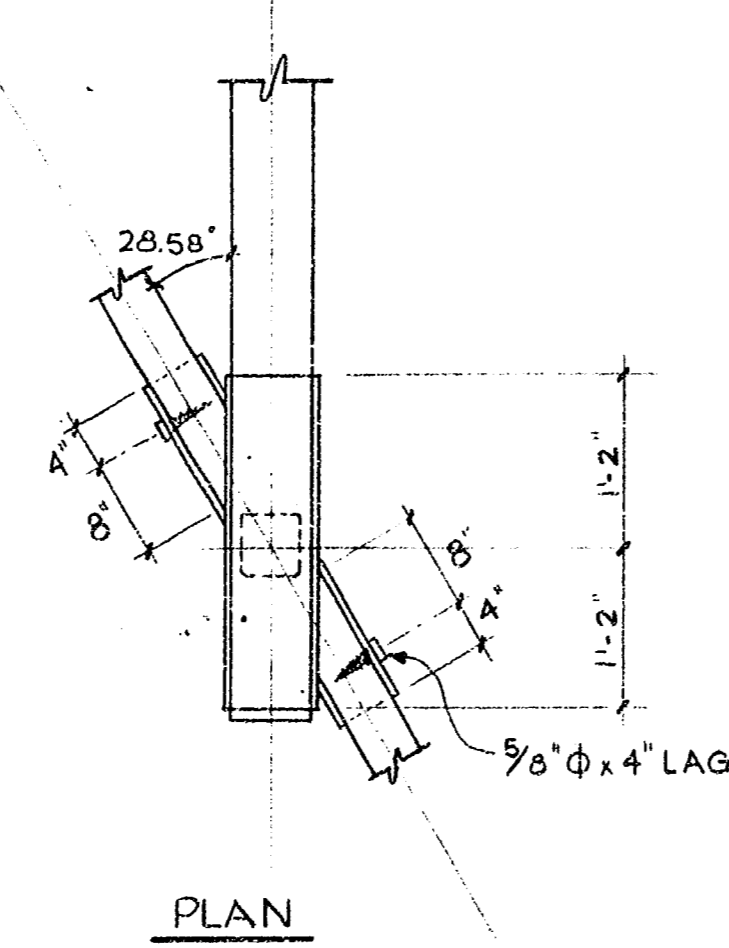
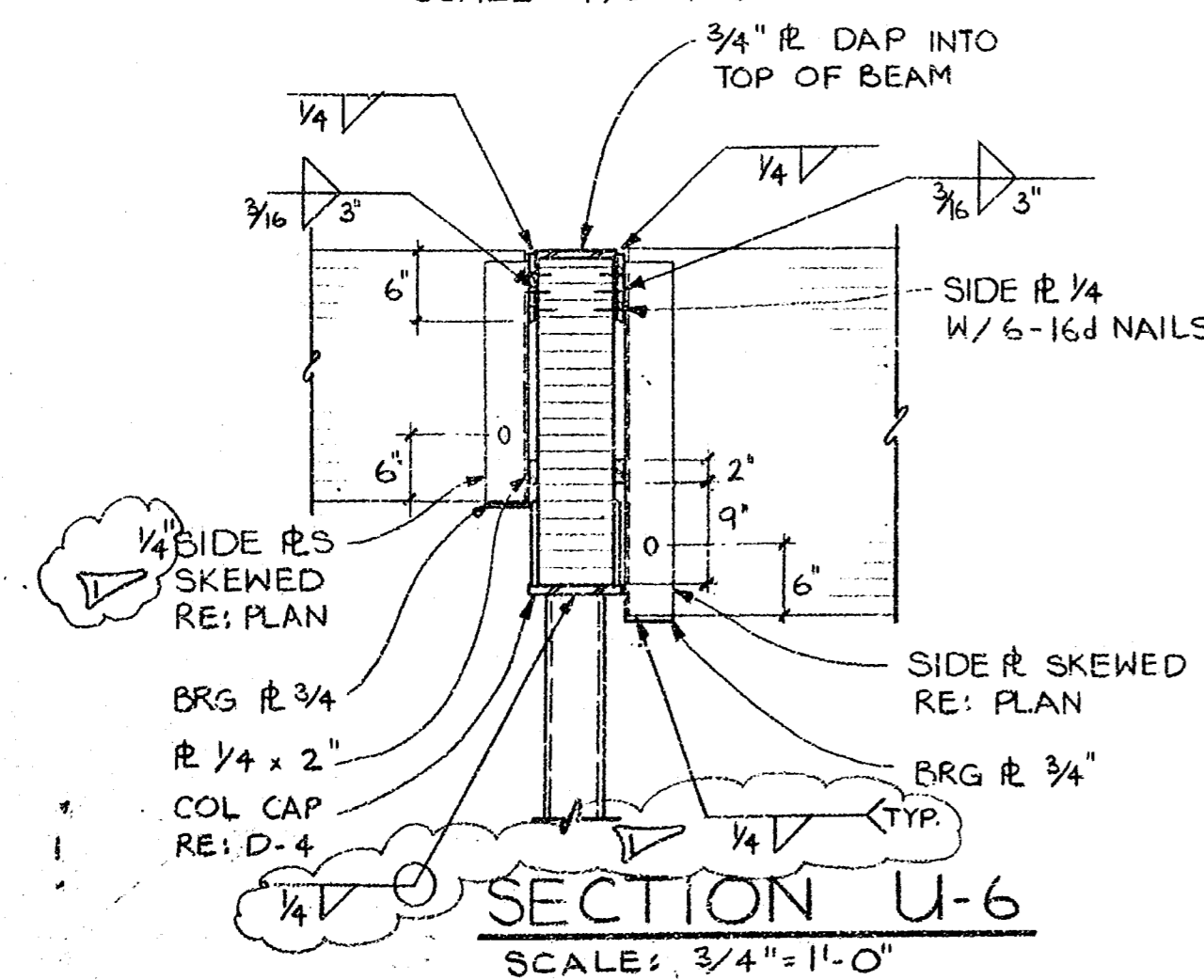
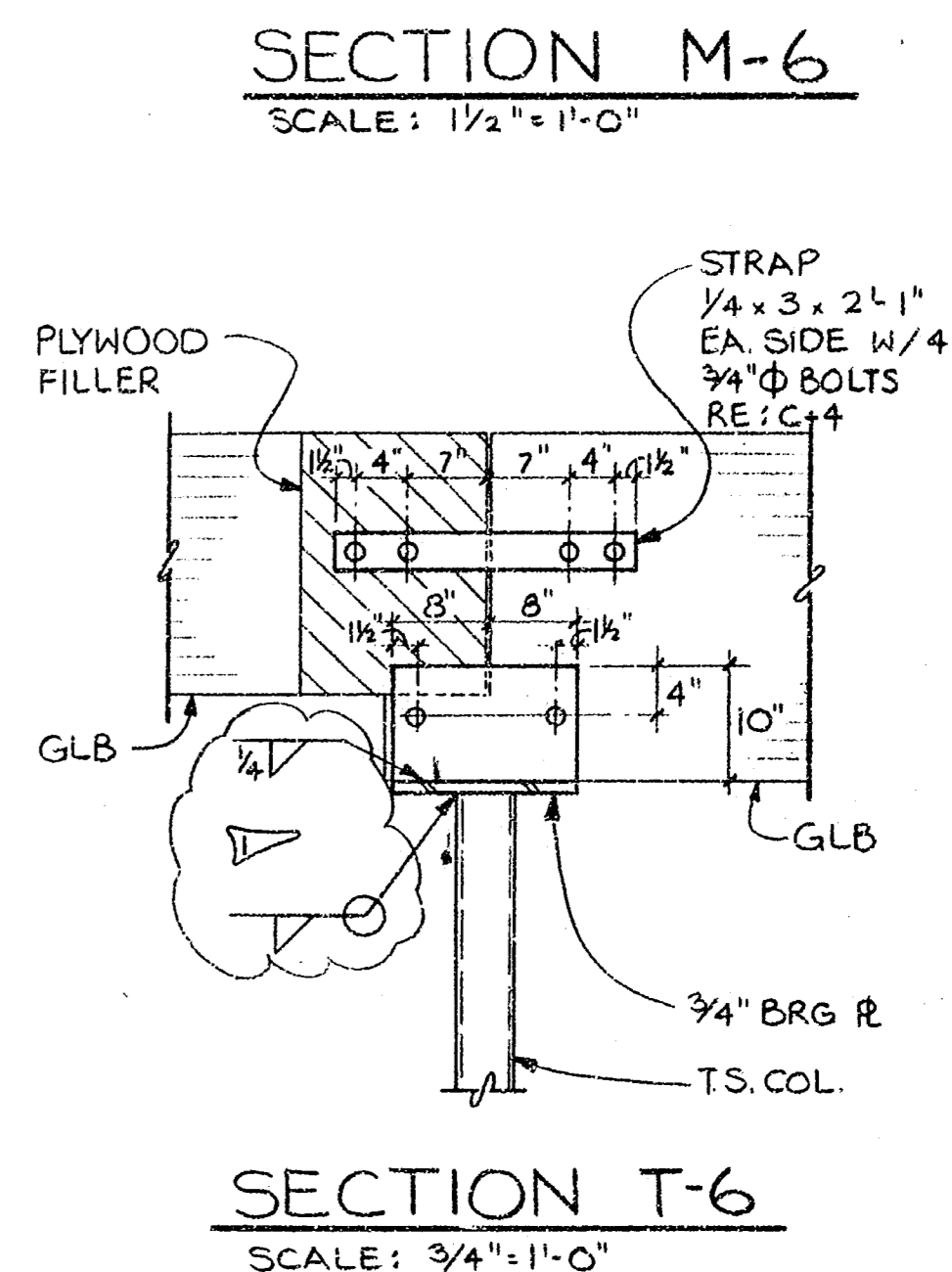
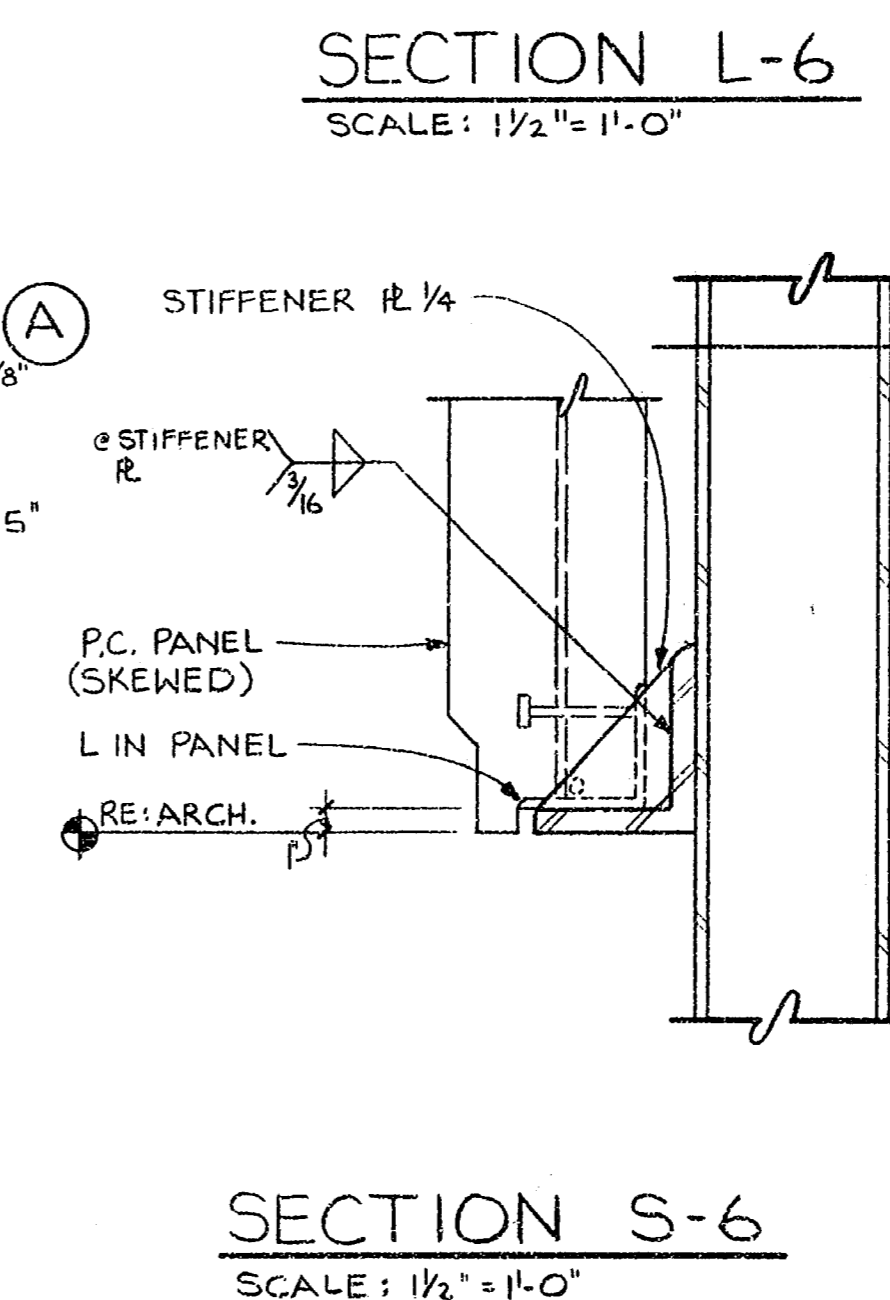
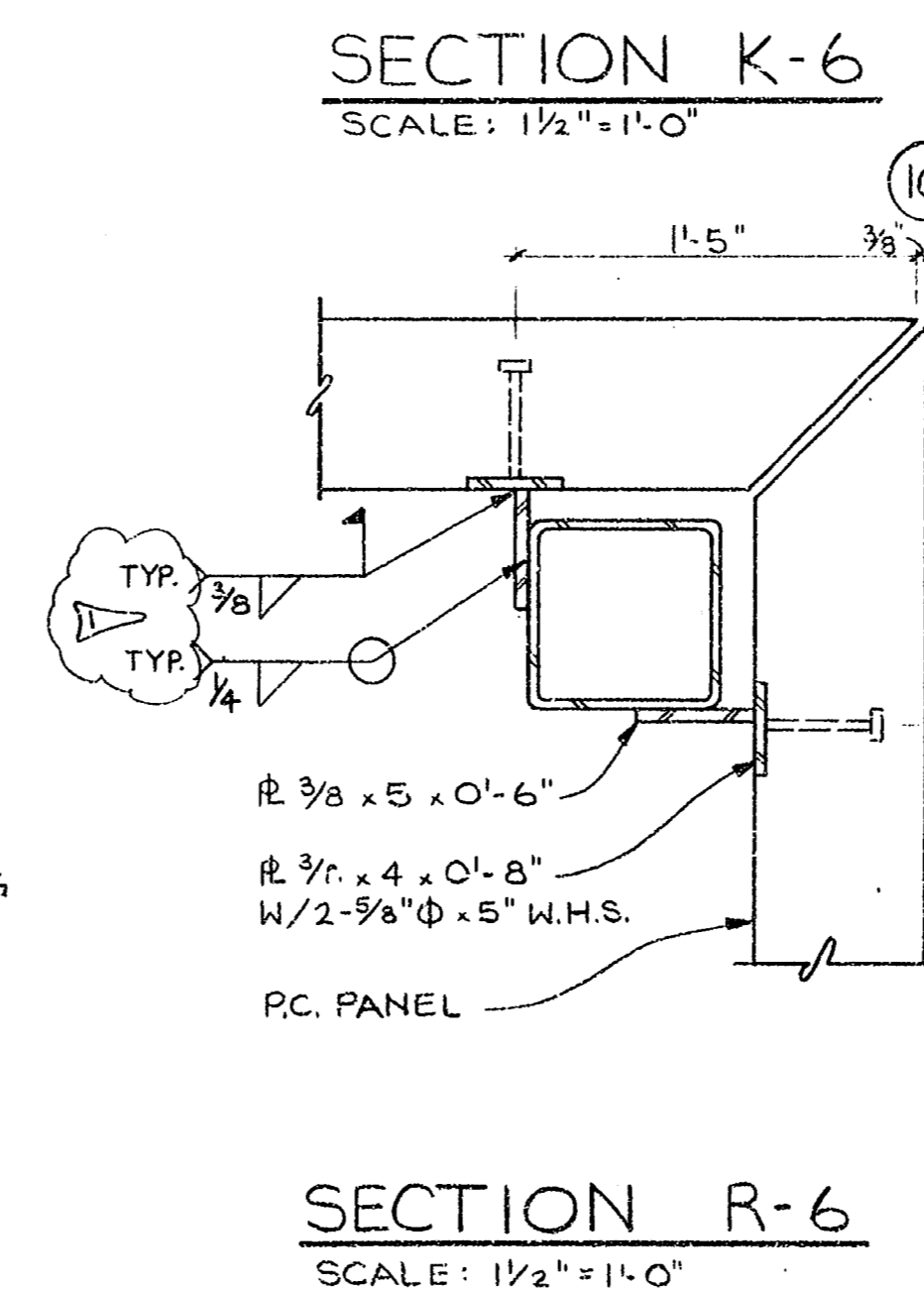
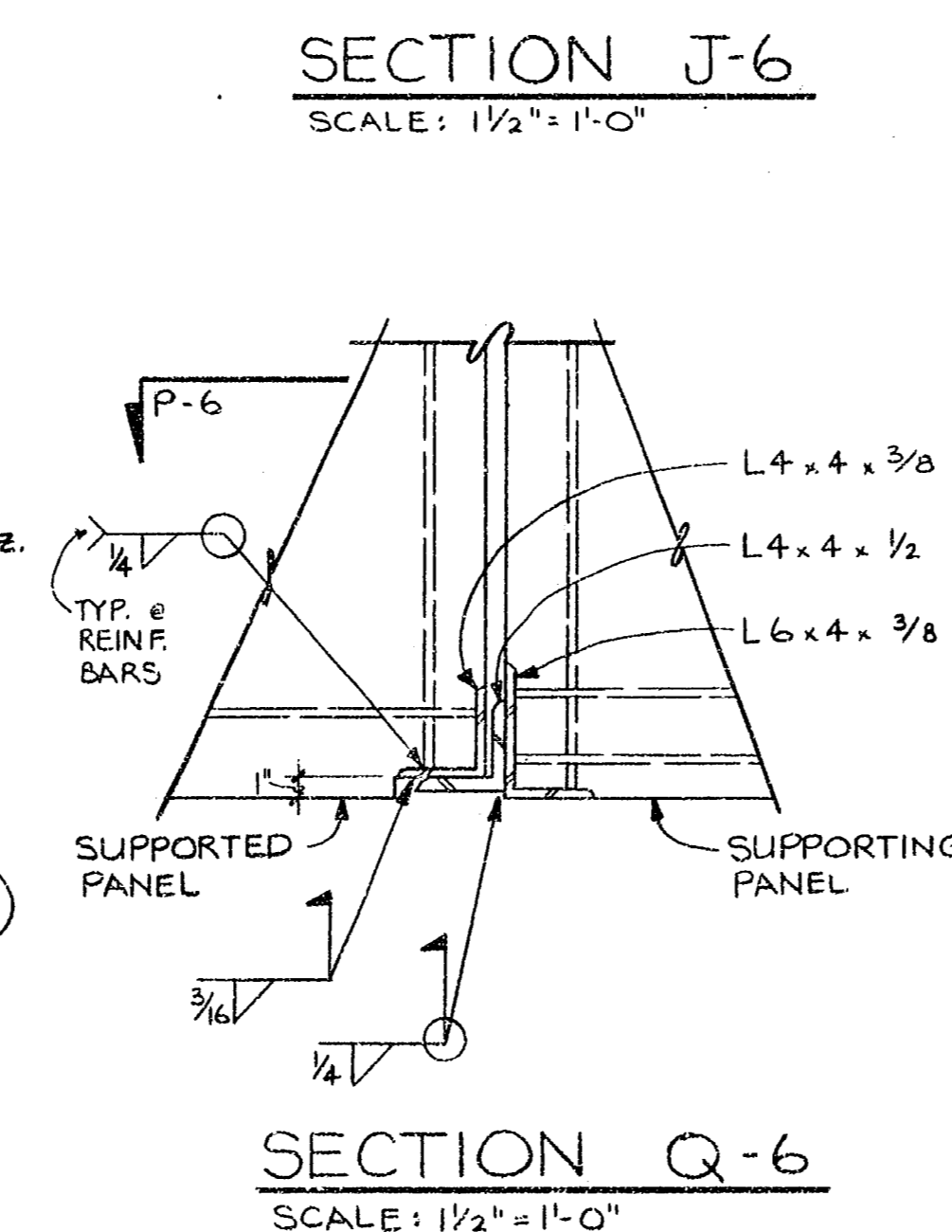
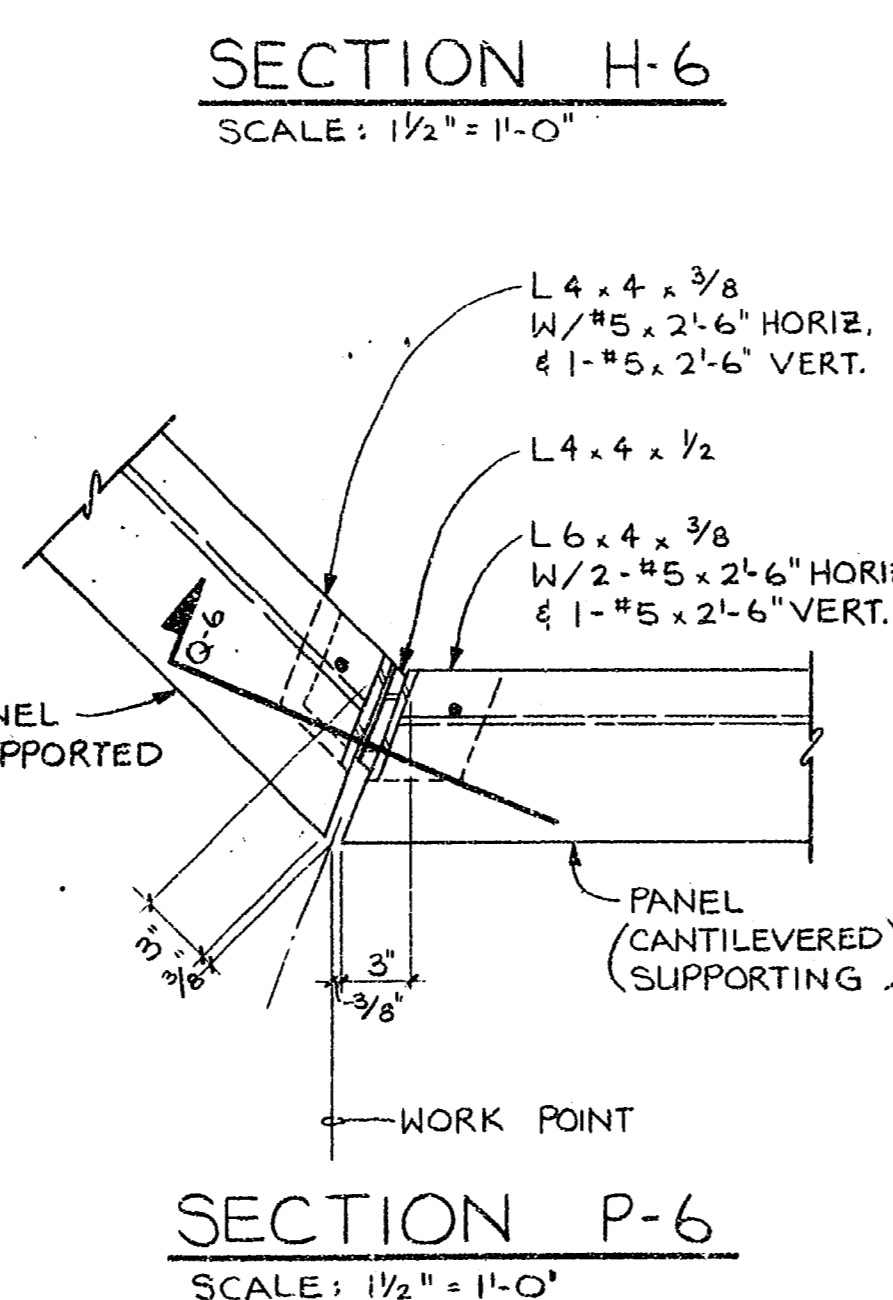
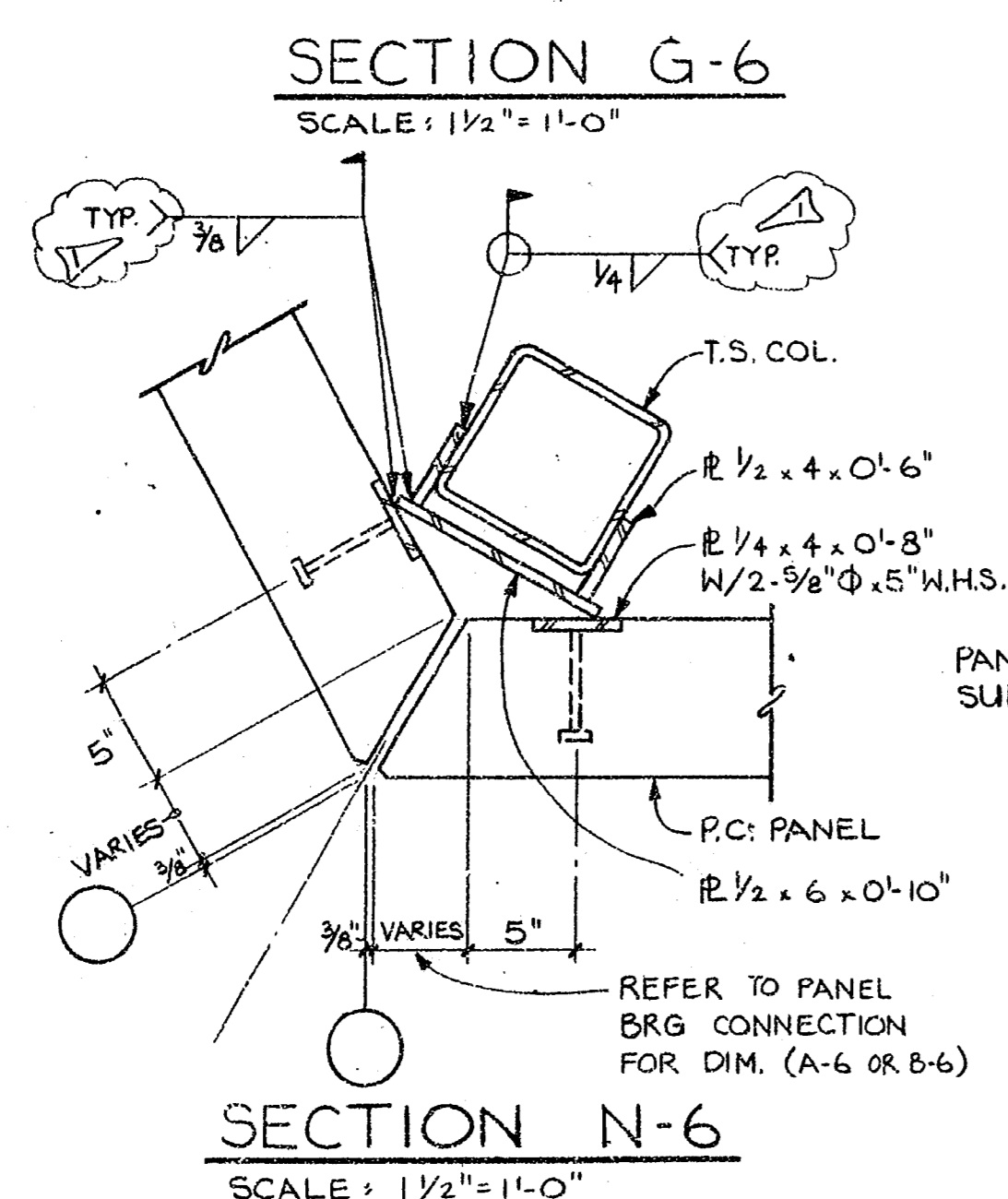
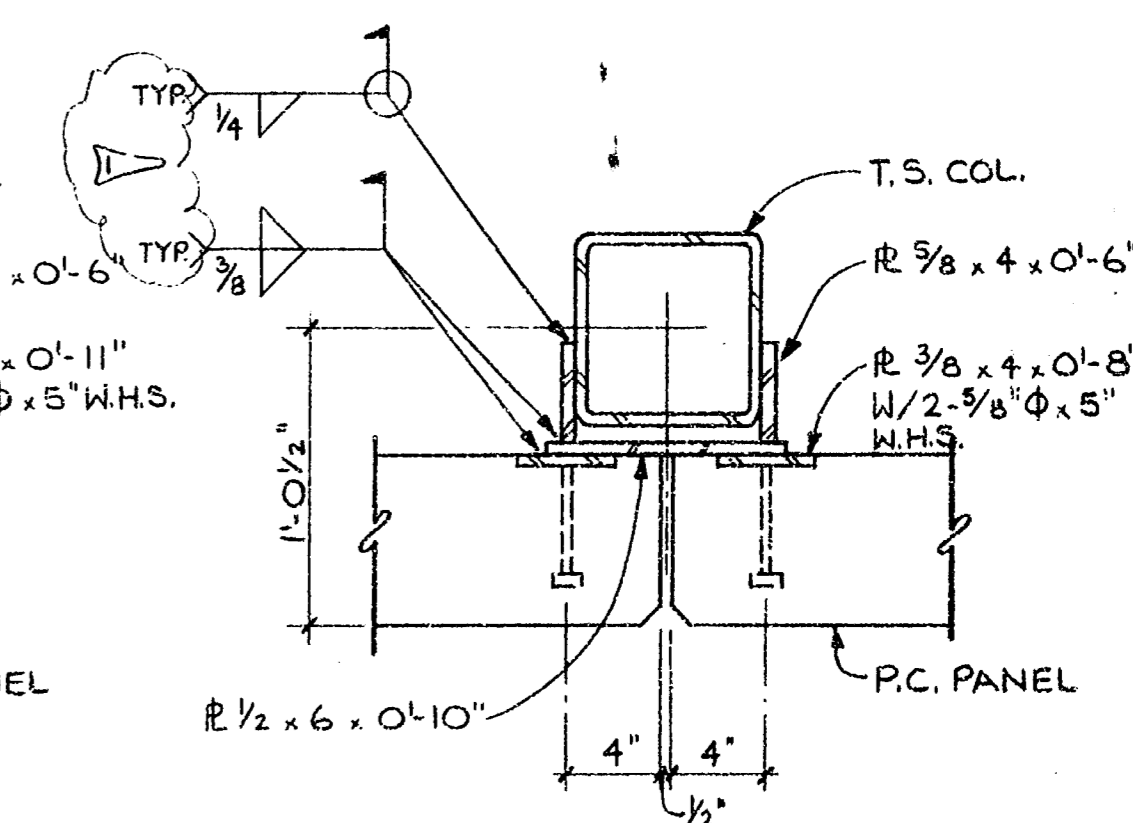
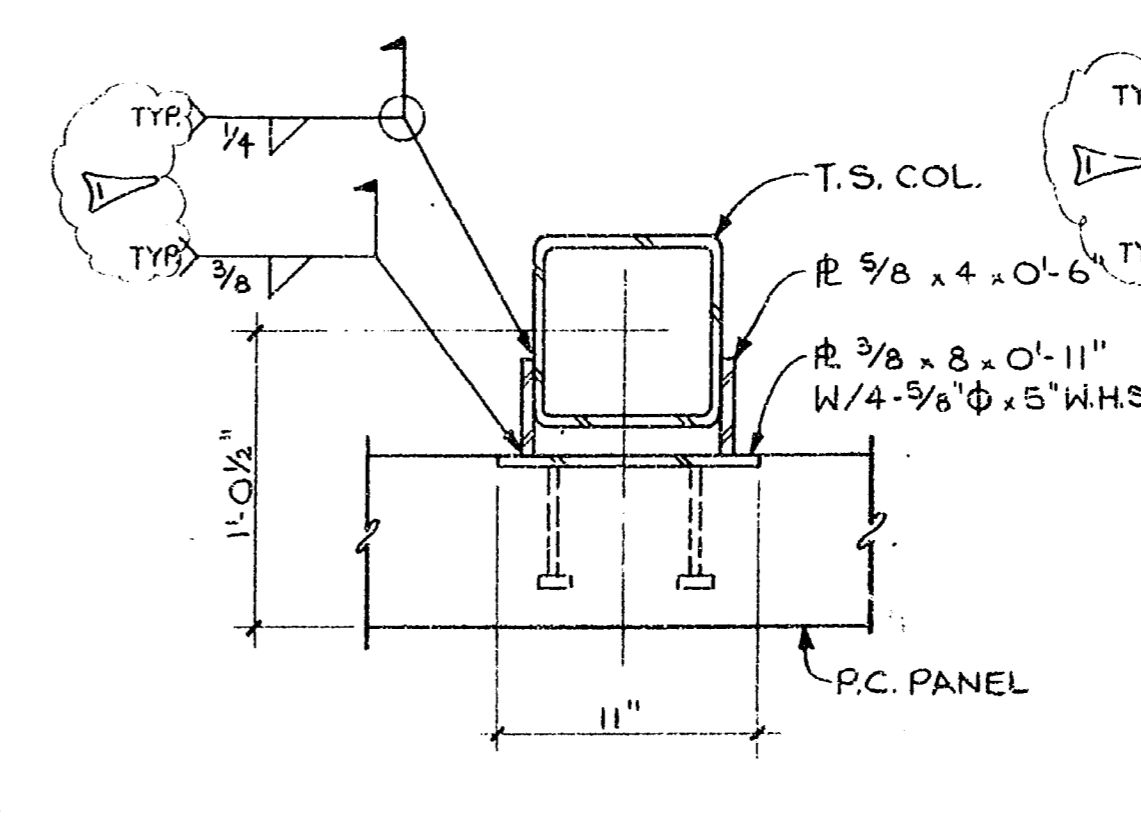
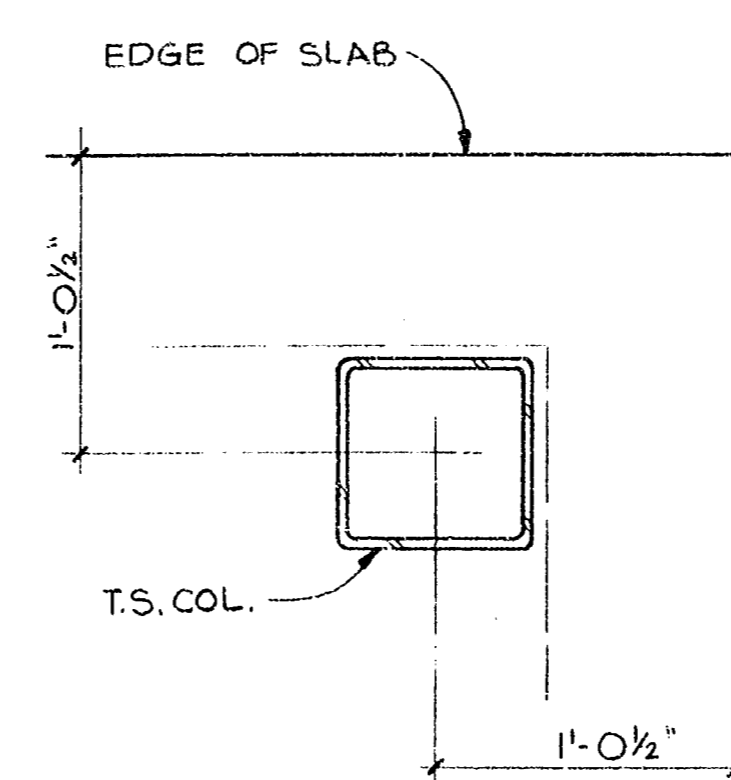
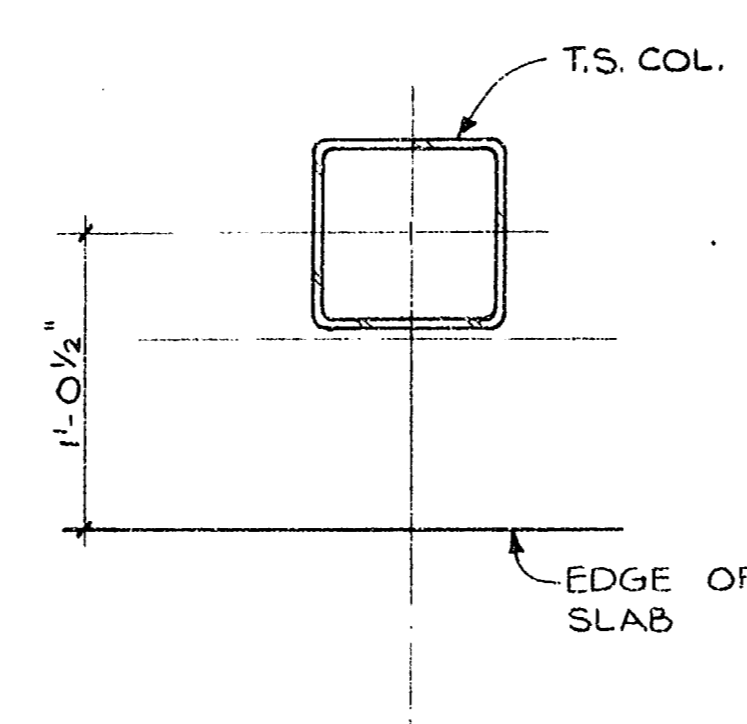
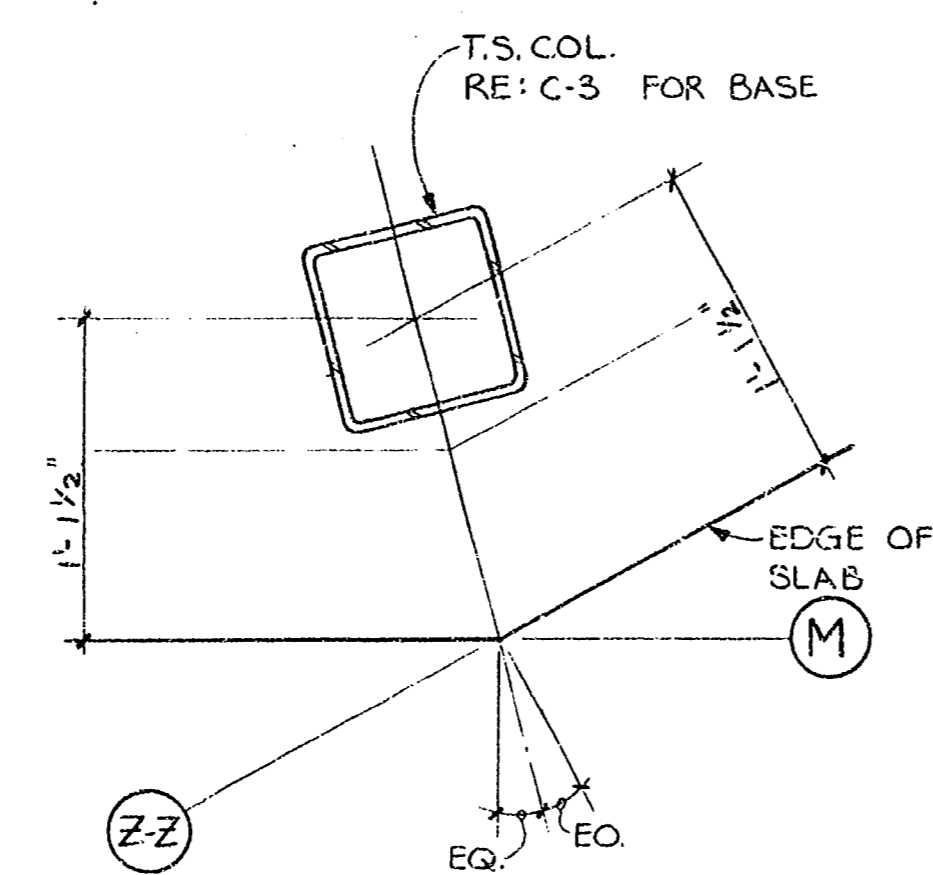
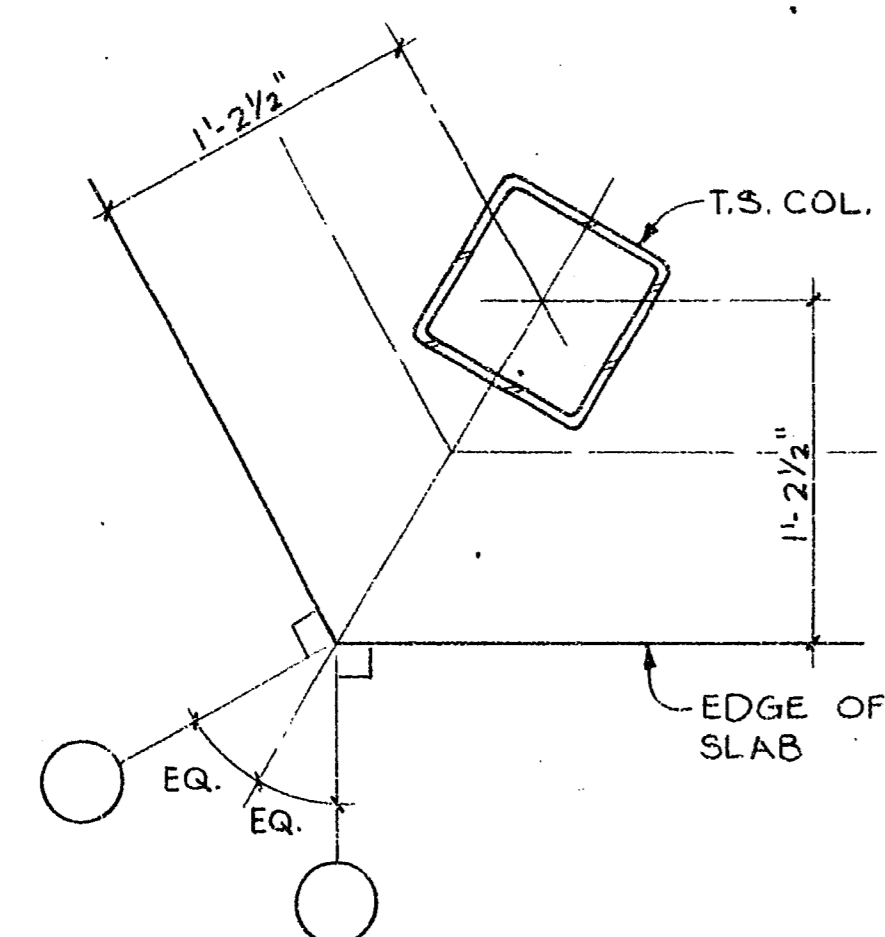
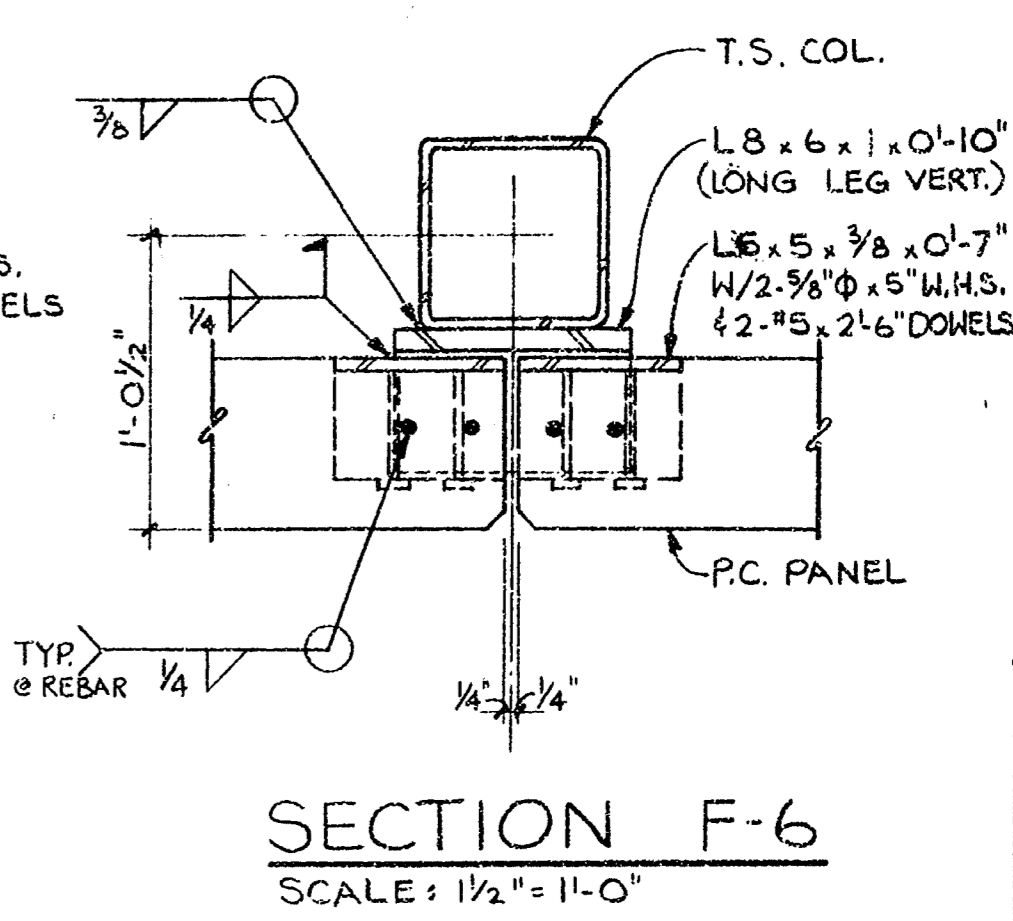
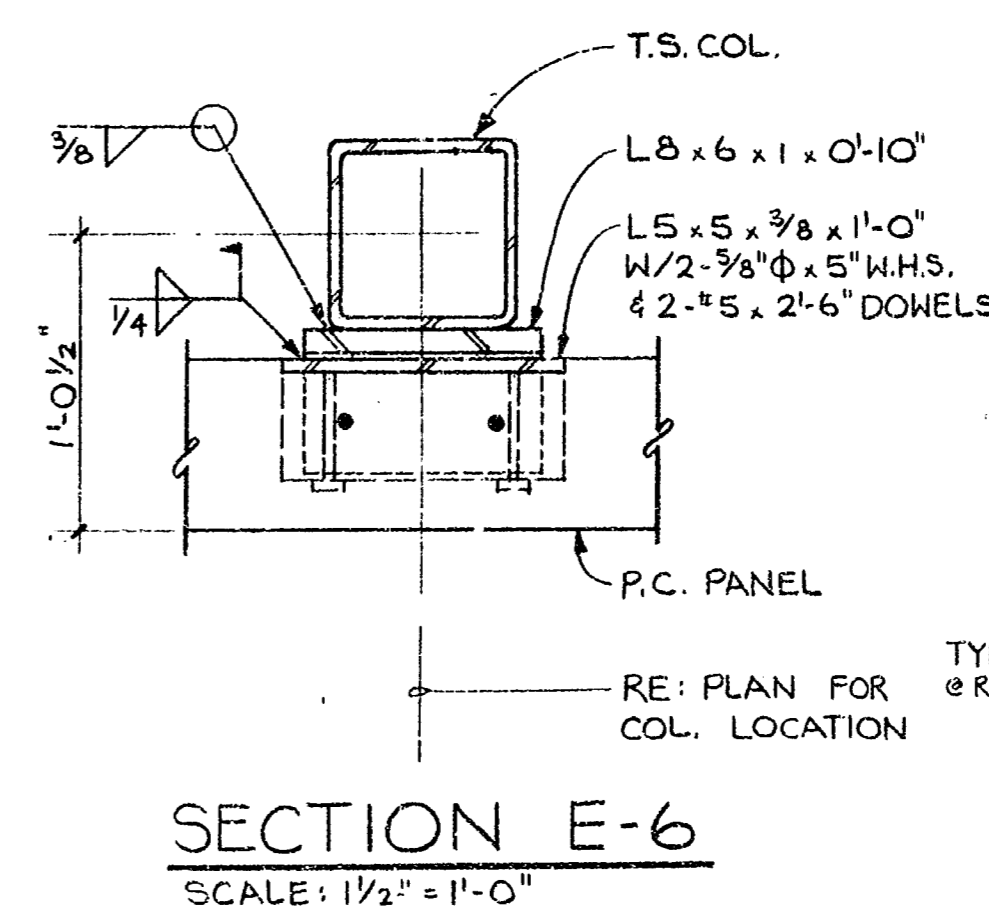
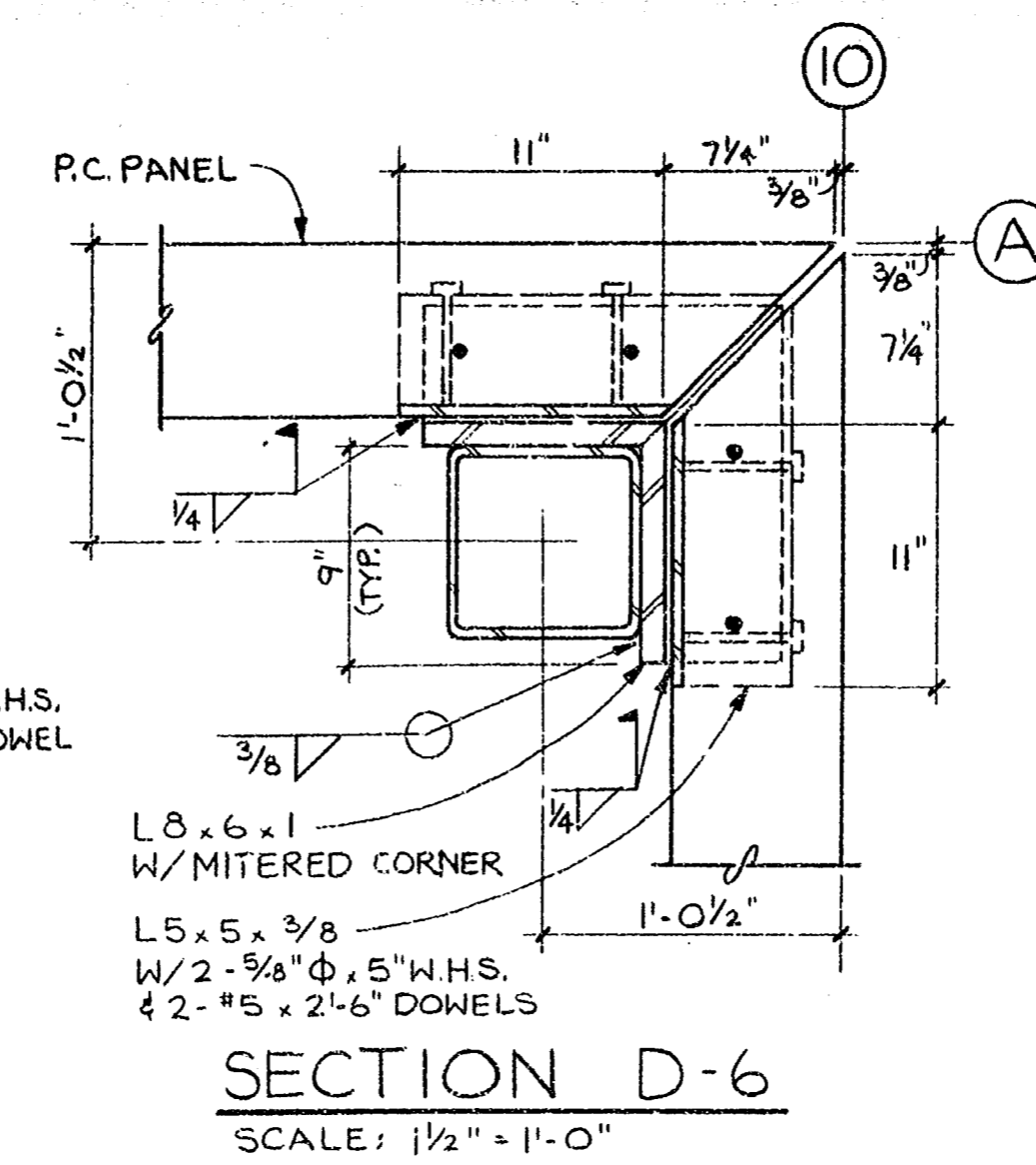
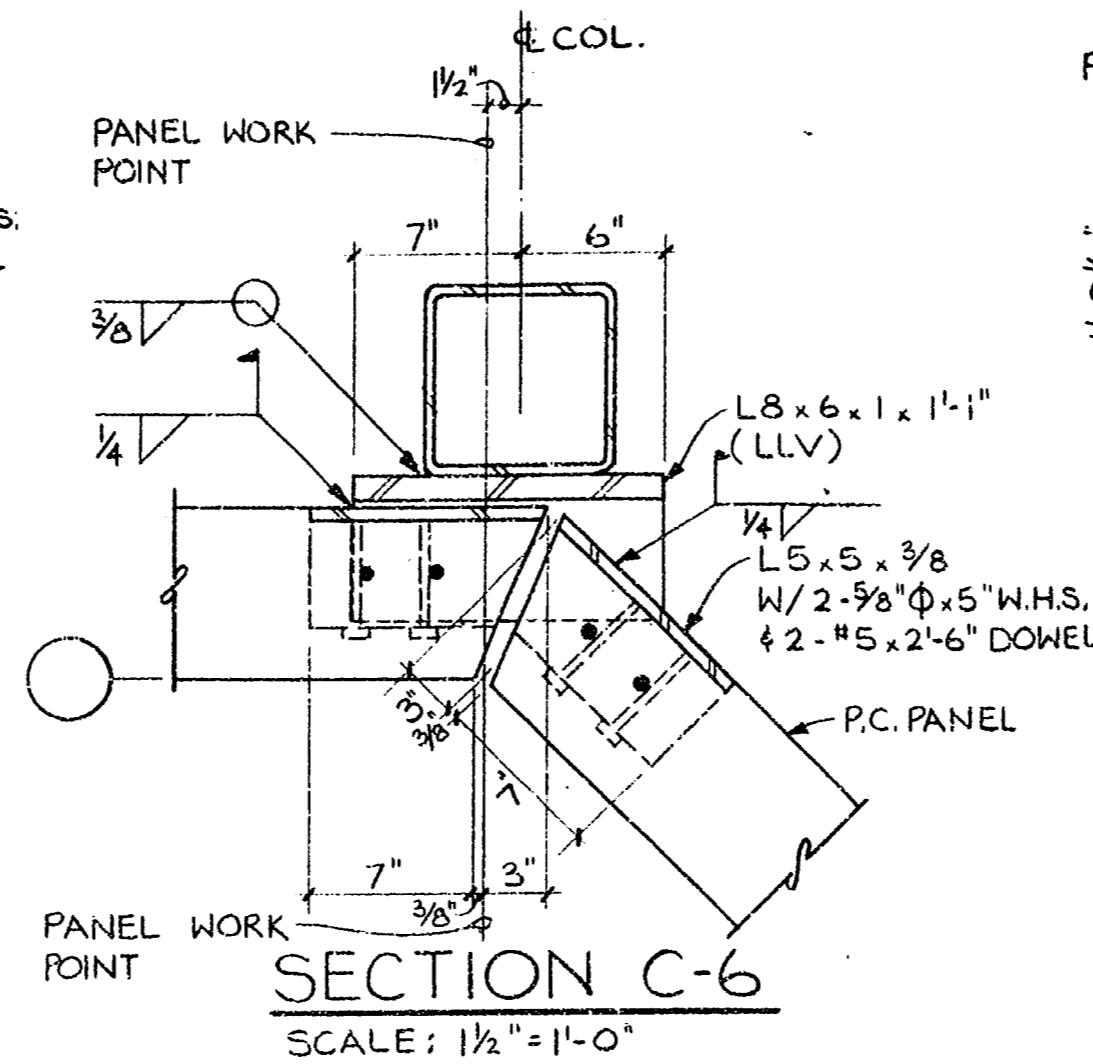
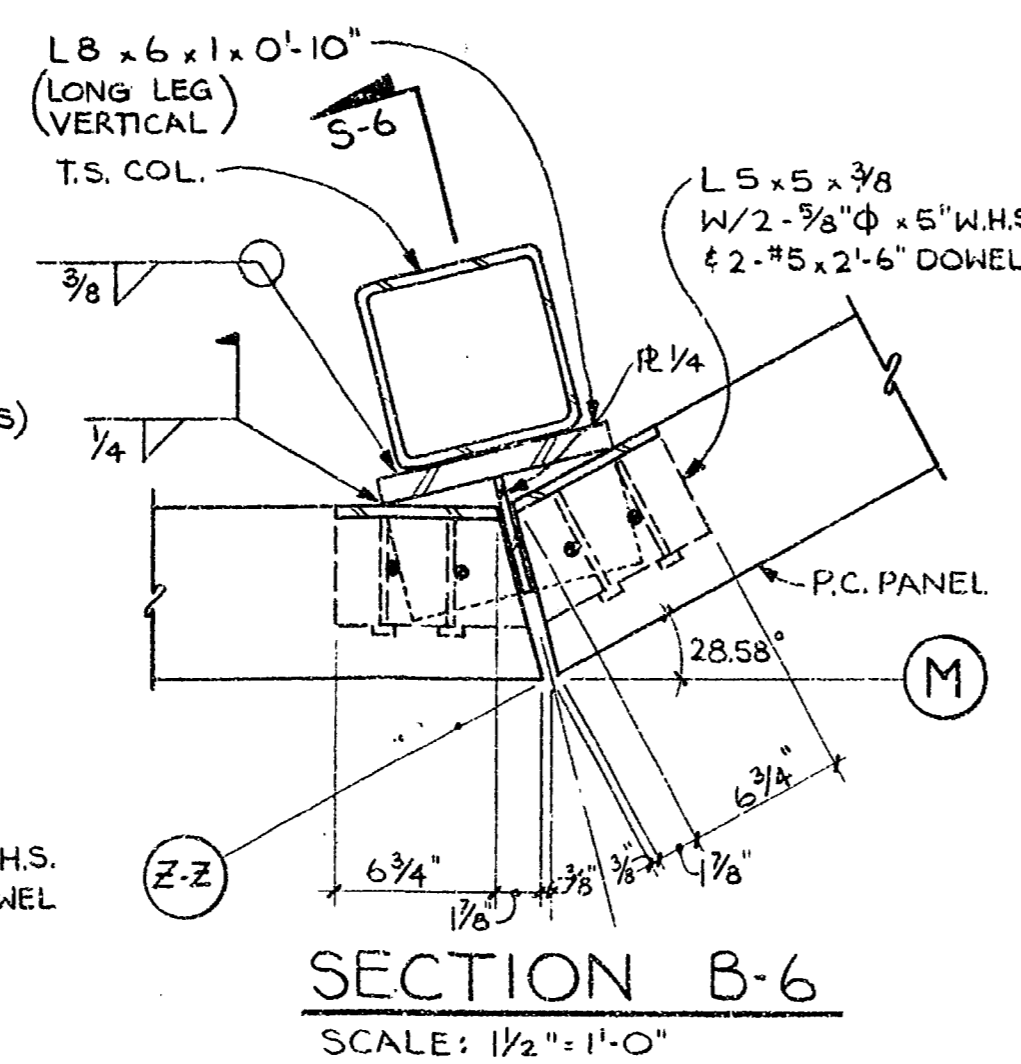
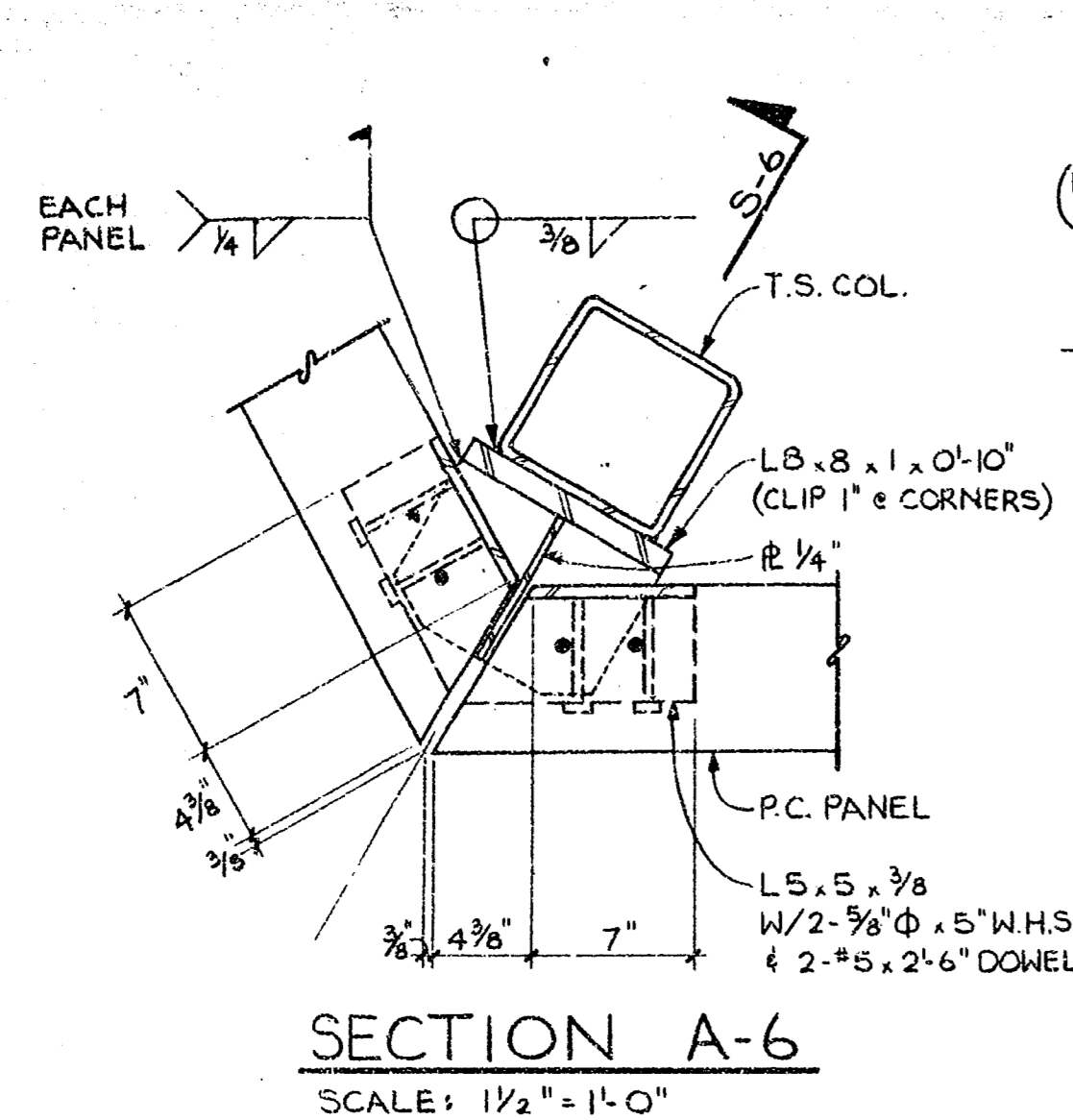
RICHARD HUDSON & ASSOCIATES, INC.  
CONSULTING ENGINEERS  
1605 12TH AVENUE SUITE 18  
SEATTLE, WASHINGTON 98122  
206-324-6160

W	h MAX.
3'-0"	8'-6"
2'-0"	6'-6"
1'-0"	4'-6"

24x



24x



5464

CITY OF TUKWILA  
APPROVED  
NOV 2 1988  
AS NOTED  
BUILDING DIVISION

**RICHARD HUDSON & ASSOCIATES, INC.**  
CONSULTING ENGINEERS  
1605 12TH AVENUE • SUITE 18  
SEATTLE, WASHINGTON 98122  
206-324-6160

**david kehle, architect**  
, washington 9810  
[206]

PROPOSED NEW BUILDING

6450 SOUTHCENTER BLVD.  
TUKWILA, WASH.

 $24x$ 

24x

# **6450 SOUTHCENTER BLVD**

## **ASSOCIATED PERMITS**

**16-S-211**

**14-S-038**

**09-S-009**

**05-S-249**

**98-S-265**

**95-S-277**

**91-S-329**

**91-S-214**

**90-0042**

**89093**

**D98-0322**

16-S-211



**CITY OF TUKWILA  
FIRE MARSHAL'S OFFICE  
206-575-4407**



**FIRE PROTECTION SYSTEMS PERMIT APPLICATION**

Applications and plans must be complete in order to be accepted for plan review.

**\*\*PLEASE PRINT\*\***

**SITE LOCATION**

King Co. Assessor's Tax No.: \_\_\_\_\_

Site Address: 6450 SOUTHCENTER BLVD Suite Number: 202 Floor: 2nd

Tenant Name: UBER New Tenant? ☒ Yes ☐ - No

Property Owner's Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City State Zip

**CONTACT PERSON-if there are questions about the submittal.**

Name: BRAD WEBER Day Telephone: 206-349-1175

Company Name: ACE FIRE SYSTEMS, LLC

Mailing Address: PO BOX 2065 BUCKLE? WA 98321

City State Zip

E-mail Address: ACEFIRESYSTEMS@COMCAST.NET Fax Number: 206-349-1175

Contractor's City of Tukwila Business License number: \_\_\_\_\_

Total number of new/relocated devices or sprinkler heads: 13

Valuation of Project (contractor's bid price): \$ 2060.-

Scope of Work (please provide detailed information): RELOCATE EXIST. ADS FOR NEW T.I.

**PERMIT APPLICATION NOTES**

**Value of Construction** – In all cases, a value of construction amount should be entered by the applicant. This figure will be reviewed and is subject to possible revision by the Fire Marshal to comply with current fee schedules.

**Expiration of Plan Review**-Every permit issued shall become invalid unless the work on the site authorized by such permit is commenced within 180 days after its issuance, or if the work authorized on the site by such permit is suspended or abandoned for a period of 180 days after the time the work is commenced. The Fire Marshal is authorized to grant, in writing, one or more extensions of time, for periods not more than 180 days each. The extension shall be requested in writing and justifiable cause demonstrated.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE UNDER PENALTY OF PERJURY BY THE LAWS OF THE STATE OR WASHINGTON, AND I AM AUTHORIZED TO APPLY FOR THIS PERMIT.

**BUILDING OWNER OR AUTHORIZED AGENT:**

Signature: Brad Weber

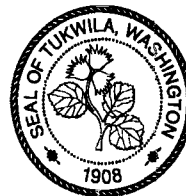
Date: 10-11-2016

Print Name: Brad Weber

Day Telephone: 206-349-1175



**CITY OF TUKWILA  
FIRE DEPARTMENT**  
444 Andover Park East  
Tukwila, WA 98188  
206-575-4407



Date application  
accepted: \_\_\_\_\_

14-S-038

### FIRE PROTECTION SYSTEMS PERMIT APPLICATION

Applications and plans must be complete in order to be accepted for plan review.

**\*\*PLEASE PRINT\*\***

#### SITE LOCATION

King Co. Assessor's Tax No.: 000320-0011

Site Address: 6450 Southcenter Blvd. Suite Number: 107 Floor: 1st

Tenant Name: Fidelity New Tenant? ☒ - Yes ☐ - No

Property Owner's Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

#### CONTACT PERSON-if there are questions about the submittal.

Name: Keith Kyle Day Telephone: 425-239-2698

Company Name: Burns Fire Protection Systems

Mailing Address: Po Box 1110 Granite Falls WA 98252

E-mail Address: Kd169@aol.com City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Fax Number: 425-360-691-2704

Total number of new/relocated devices or sprinkler heads: 1

Valuation of Project (contractor's bid price): \$ 300<sup>00</sup>

Scope of Work (please provide detailed information): Relocate one sprinkler head  
to new closet/Data Room

#### PERMIT APPLICATION NOTES

**Value of Construction** – In all cases, a value of construction amount should be entered by the applicant. This figure will be reviewed and is subject to possible revision by the Fire Marshal to comply with current fee schedules.

**Expiration of Plan Review**-Every permit issued shall become invalid unless the work on the site authorized by such permit is commenced within 180 days after its issuance, or if the work authorized on the site by such permit is suspended or abandoned for a period of 180 days after the time the work is commenced. The Fire Marshal is authorized to grant, in writing, one or more extensions of time, for periods not more than 180 days each. The extension shall be requested in writing and justifiable cause demonstrated.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE UNDER PENALTY OF PERJURY BY THE LAWS OF THE STATE OR WASHINGTON, AND I AM AUTHORIZED TO APPLY FOR THIS PERMIT.

#### **BUILDING OWNER OR AUTHORIZED AGENT:**

Signature: Keith Kyle

Date: 2/28/14

Print Name: Keith Kyle

Day Telephone: 425-239-2698

## **FIRE DEPARTMENT SPRINKLER PLAN REVIEW COMMENTS**

**Project Name:**        **Uber**  
6450 Southcenter Bl Suite 202

**Permit No.:**        **16-S-211**

**Date:**                **October 12, 2016**

**Reviewer:**        **Al Metzler**  
**Fire Protection Project Coordinator**  
**(206) 575-4407 option # 2 (Inspection Requests)**  
**(206) 971-8718 (Plan Review Questions)**

- Lateral sway bracing is required at a maximum spacing of 40' for all mains, cross mains, and branch lines 2.5" and larger. Bracing is provided for the last length of pipe but within 6' of the end of a feed or cross main. Bracing is required unless all the pipe is supported by rods less than 6" or by 30 ° wrap-around U-hooks for any size pipe, 9.3.5.3.
- Minimum clearance around pipes: 2 " for 1"-3.5", 4" for 4" and larger, see 4 exceptions, 9.3.4.
- Longitudinal sway bracing is a maximum of 80' for mains and cross mains and within 40 ' of the end of the line, 9.3.5.4.
- Provide lateral and longitudinal bracing for changes in pipe direction per section 9.3.5.11.2 for pipe size 2 ½ inches and larger.
- Restrain branch lines at the end sprinkler of each line, restrain against vertical and lateral movement, 9.3.6.3.
- Restraints for branch lines shall be at intervals per table 9.3.6.4 and section 9.3.6.4, and restrain sprig ups greater than 4', 9.3.6.6.
- Comply with ASCE 7-05, section 13.5.6.2.2.
- Provide sprinkler protection beneath all obstructions greater than 4 ft. in width.
- Extend sprinkler protection to all combustible concealed spaces.

- Comply with NFPA 13 obstruction tables.
- All valves controlling the water supply for automatic sprinkler systems and waterflow switches on all sprinkler systems shall be electrically supervised.
- All interior control valves shall be readily accessible, labeled and located not more than 6 ft. above the floor.
- Comply with obstructed/non-obstructed construction rules for sprinkler head placement.
- Sprinkler heads spaced closer than 6 ft. apart must be baffled.
- Modifications involving 20 or more heads require hydrostatic test and system isolation if necessary.
- For dry pipe and double interlock preaction systems, in addition to the standard hydrostatic test, an air pressure leakage test at 40 psi shall be conducted for 24 hours. Any leakage that results in a loss of pressure in excess of 1.5 psi for the 24 hours shall be corrected.
- These conditions apply to all sprinkler piping exposed as necessary to accomplish the permitted scope of work.

*All code references are NFPA 13, 2013 Edition.*

## **FIRE DEPARTMENT SPRINKLER PLAN REVIEW COMMENTS**

**Project Name:** Seattle Savings Bank  
6450 Southcenter BL Suite # 110

**Permit No.:** 09-S-009

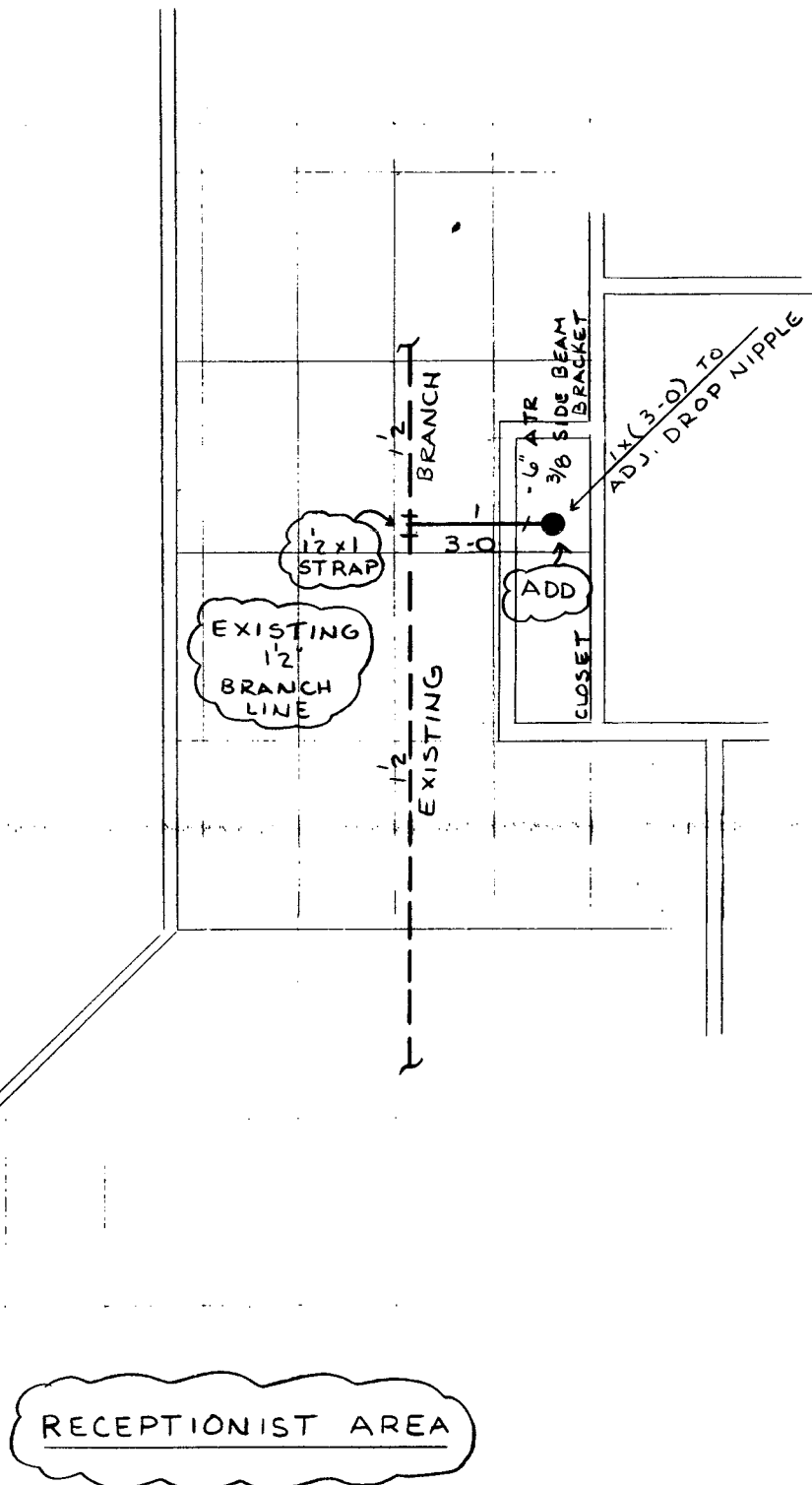
**Date:** January 14, 2009

**Reviewer:** Al Metzler  
Fire Protection Project Coordinator  
(206)575-4407

- Lateral sway bracing is required at a maximum spacing of 40' for all mains, cross mains, and branch lines 2.5" and larger. Bracing is provided for the last length of pipe but within 6' of the end of a feed or cross main. Bracing is required unless all the pipe is supported by rods less than 6" or by 30 ° wrap-around U-hooks for any size pipe, 9.3.5.3.
- Minimum clearance around pipes: 2 " for 1"-3.5", 4" for 4" and larger, see 4 exceptions, 9.3.4.
- Longitudinal sway bracing is a maximum of 80' for mains and cross mains and within 40 ' of the end of the line, 9.3.5.4.
- Provide lateral and longitudinal bracing for changes in pipe direction per section 9.3.5.11.2 for pipe size 2 ½ inches and larger.
- Restrain branch lines at the end sprinkler of each line, restrain against vertical and lateral movement, 9.3.6.3.
- Restraints for branch lines shall be at intervals per table 9.3.6.4 and section 9.3.6.4, and restrain sprig ups greater than 4', 9.3.6.6.
- Comply with ASCE 7-05, section 13.5.6.2.2.
- Provide sprinkler protection beneath all obstructions greater than 4 ft. in width.
- Extend sprinkler protection to all combustible concealed spaces.
- Comply with NFPA 13 obstruction tables.

- Sprinkler heads spaced closer than 6 ft. apart must be baffled.
- Modifications involving 30 or more heads require hydrostatic test and system isolation if necessary.
- These conditions apply to all sprinkler piping exposed as necessary to accomplish the permitted scope of work.

*All code references are NFPA 13, 2007 Edition.*



SCOPE OF WORK:  
 SFS WILL CUT INTO AN EXISTING 1 1/2" BRANCHLINE AND ADD (1) RELIABLE MOD. "G" RECESSED, 1/2", 165", CHROME PENDENT INTO NEW CLOSET. THE ARM-OVER WILL BE SUPPORTED FROM A WOOD PURLIN WITH A SIDE BEAM BRACKET.

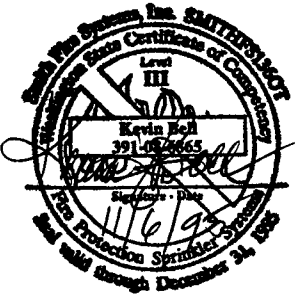
**ACCEPTED**

☒ WITHOUT COMMENTS.  
☐ AS NOTED IN RED  
☐ PER THE ATTACHED LETTER

The drawings affixed hereto have been reviewed and accepted by the City of Tukwila Fire Dept. Additions, deletions or revisions to the drawings after this date will void this acceptance and will require a resubmission of revised drawings. Final acceptance is subject to field inspection by a representative of this department

DATE: 11/7/95 BY: *[Signature]* 511  
 CITY OF TUKWILA  
 575-4407

TUKWILA FIRE DEPARTMENT  
 Please call: 575-4407  
 and give this job  
 No. 95-S-277  
 and exact address for shut-down or restoration approval:



**SFS SMITH FIRE SYSTEMS, INC.**  
 4519 South Orchard  
 Tacoma, Washington 98466  
 CONTR. REG. NO. SMITHFS1360T  
 Bus: (206) 473-6967 Fax: (206) 475-1205

PROJECT  
**CROWMWEL MENDOZA ATTORNEYS**  
 6450 S. CENTER BLVD. #100  
 TUKWILA, WA. 98188

DESIGNER	DATE	SHEET	JOB NO.
D. X. HUGHEY	11/7/95	1 OF 1	S-1077

RECEIVED  
 NOV 6 1995  
 PAID  
 \$148.05 #100

6450 SC 100 #100

ACCEPTED

- ☒ Without Comments
- ☐ As Noted In Red
- ☐ Per The Attached Letter

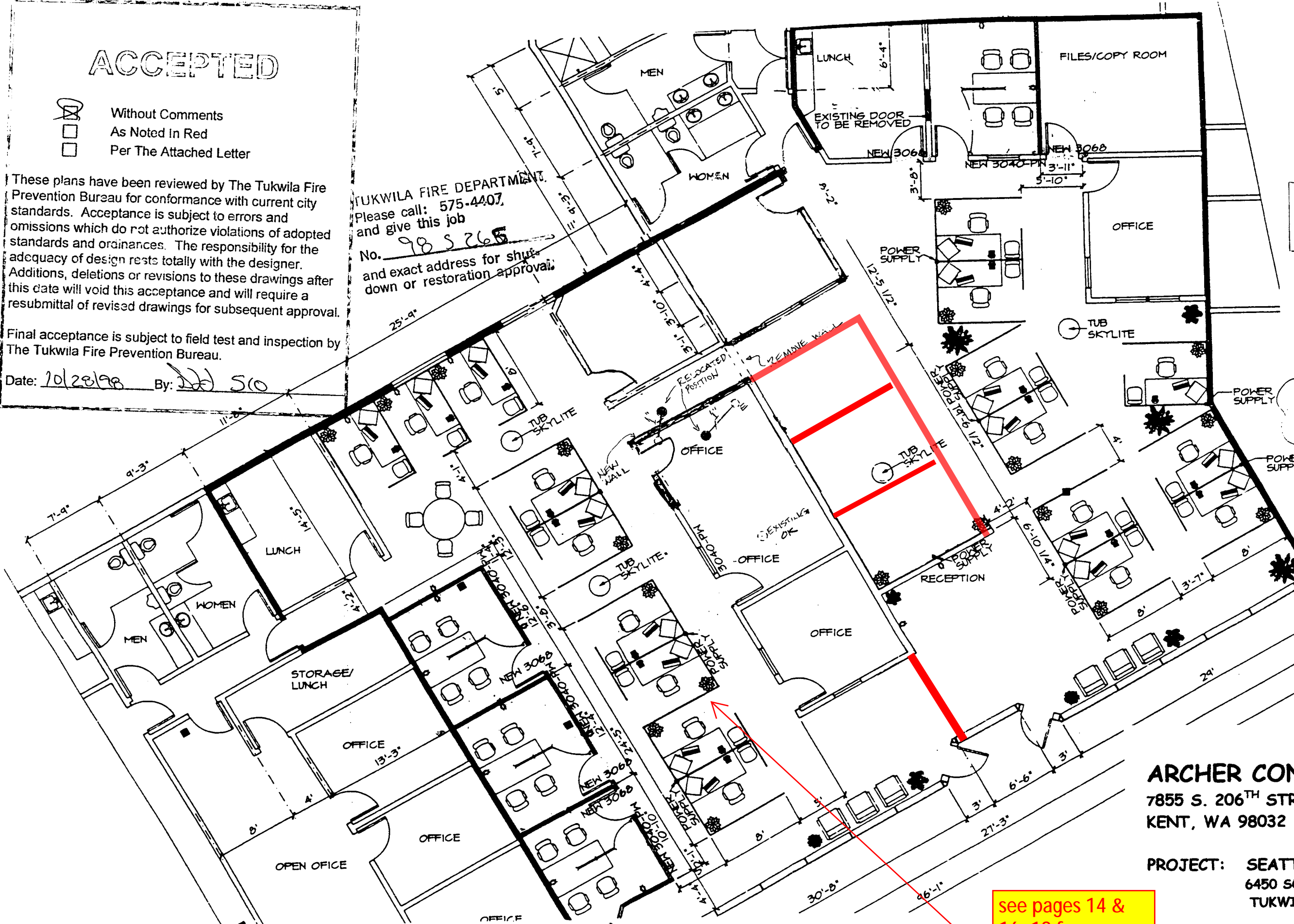
These plans have been reviewed by The Tukwila Fire Prevention Bureau for conformance with current city standards. Acceptance is subject to errors and omissions which do not authorize violations of adopted standards and ordinances. The responsibility for the adequacy of design rests totally with the designer. Additions, deletions or revisions to these drawings after this date will void this acceptance and will require a resubmittal of revised drawings for subsequent approval.

Final acceptance is subject to field test and inspection by The Tukwila Fire Prevention Bureau.

Date: 10/20/98 By: J.D. SIO

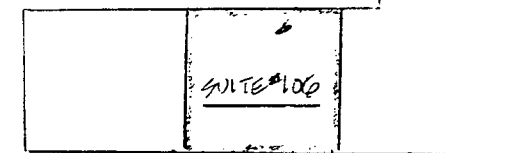
TUKWILA FIRE DEPARTMENT.  
Please call: 575-4407,  
and give this job  
No. 98 S 265

and exact address for shut  
down or restoration approval.



PARTIAL PLAN  
1/8" = 1'-0"

THIS PROJECT -



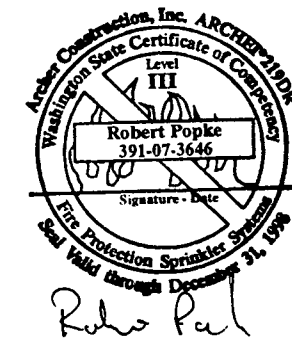
BLDG PLAN  
NO SCALE



SCOPE: RELOCATE 2 EXIST.  
PENDENT LEADS DUE TO  
NEW OFFICE/CORRIDOR WALL.

PERMIT # D98-0322

FILE



ARCHER CONSTRUCTION, INC  
7855 S. 206<sup>TH</sup> STREET PHONE: 253-872-7222  
KENT, WA 98032 FAX: 253-872-7277

PROJECT: SEATTLE MORTGAGE  
6450 SOUTHCENTER BLVD.  
TUKWILA, WA.

see pages 14 &  
16-18 for more  
current plan

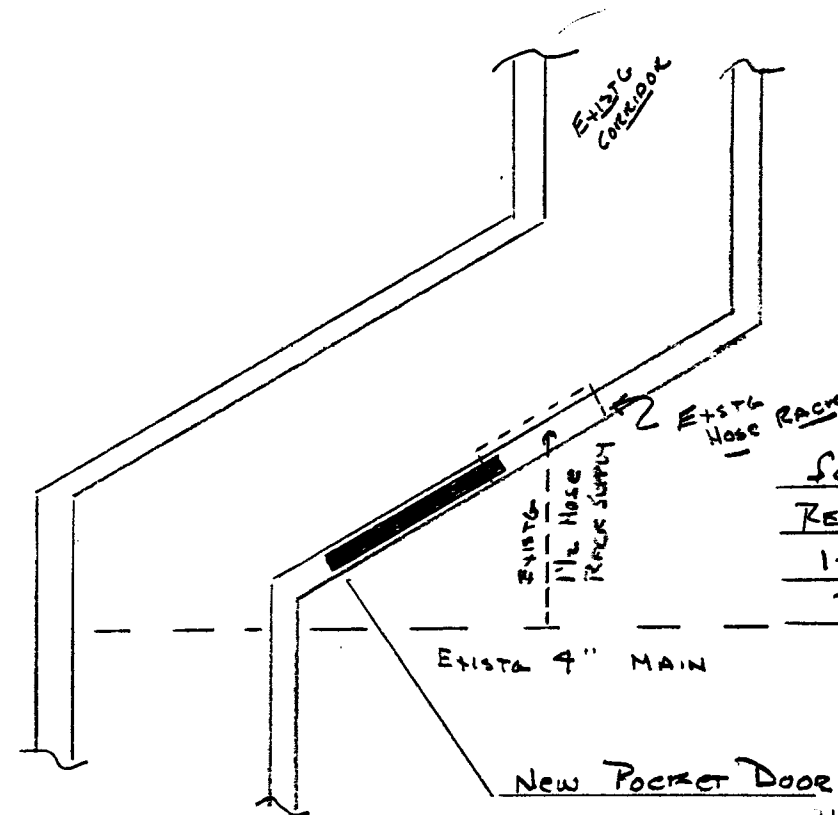
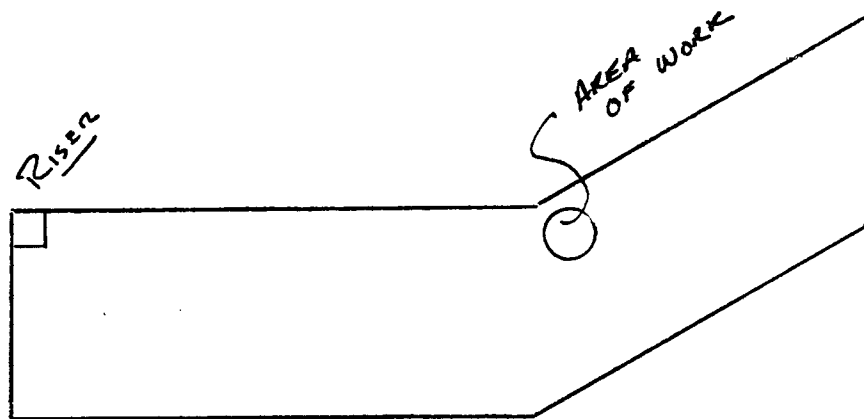
PLAN 1 OF 1

OCTOBER 23, 1998

RECEIVED  
OCT 26 1998

PAID  
#17837

6450 Southcenter BL, #106



EXIST 1 1/2" - TURN EXIST 90° L 000  
 1 1/2" - NEW  
 1 1/2" - RE USE EXIST  
 HOSE RACK

SCOPE OF WORK  
 RELOCATE HOSE RACK  
 1-0 EAST TO CLEAR  
 POCKET DOOR.

TUKWILA FIRE DEPARTMENT  
 Please call: 575-4407  
 and give this job  
 No. 91 5329  
 and exact address for shut-  
 down or restoration approval.

**ACCEPTED**

- ☒ WITHOUT COMMENTS.
- ☐ AS NOTED IN RED
- ☐ PER THE ATTACHED LETTER

The drawings affixed hereto have been reviewed and accepted by the City of Tukwila Fire Dept. Additions, deletions or revisions to these drawings after this date will void this acceptance and will require a resubmittal of revised drawings.

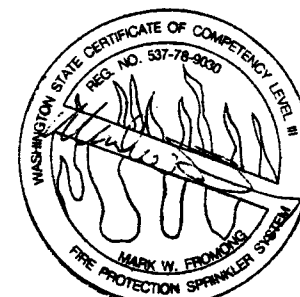
Final acceptance is subject to field inspection by a representative of this department.

DATE: 11-18-91 BY: DAN RAY

CITY OF TUKWILA  
 575-4407 513

**FILE**

**PAID**  
 #6088

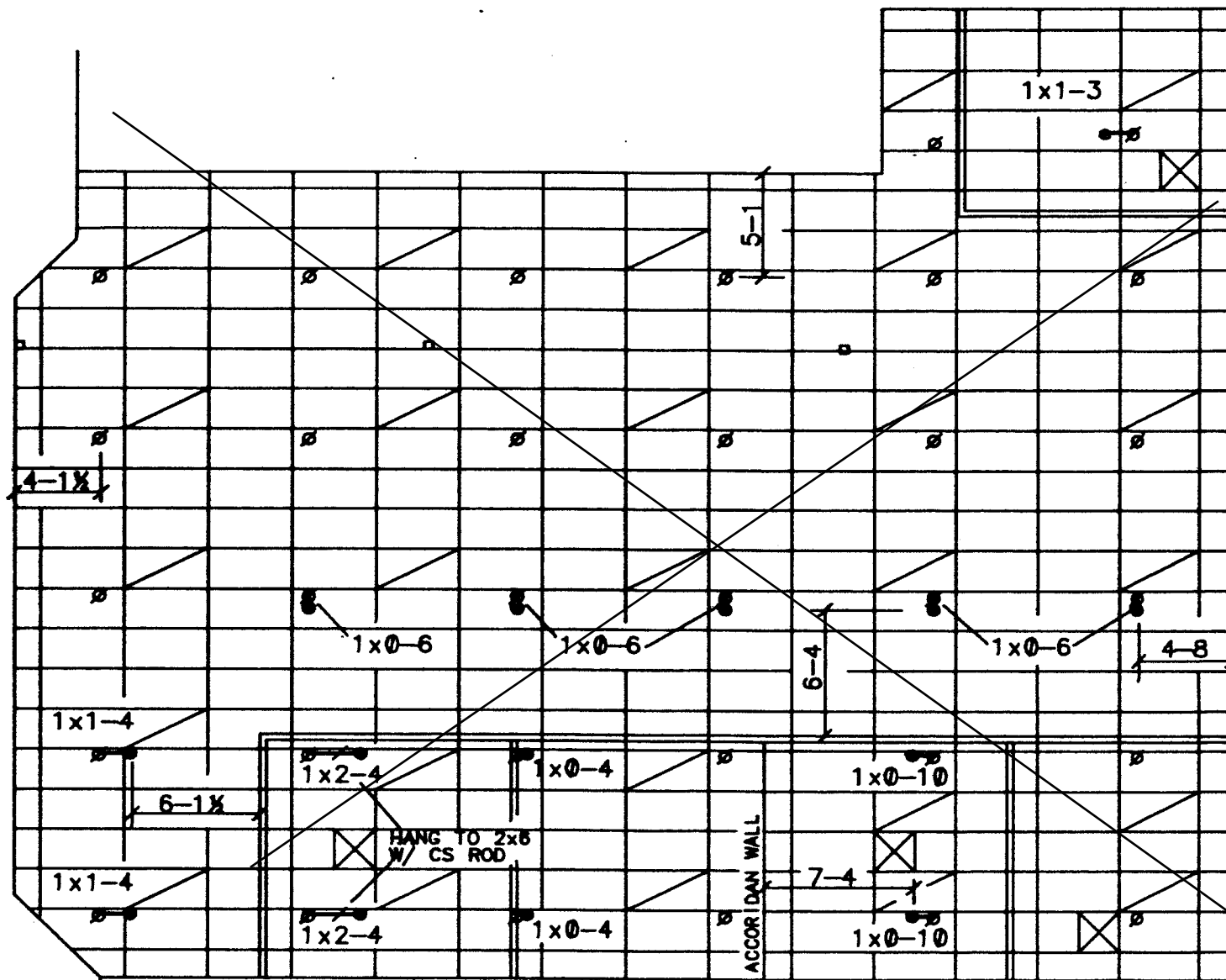


REVISIONS			
MK	DATE	BY	
^			
^			

PROJECT NAME: ROYAL COACHMAN  
6450 So CTR Blvd.  
TUKWILA WA

PATRIOT FIRE PROTECTION  
2004-A 48th Ave So  
TACOMA WA 98424

DESIGNER	DATE	JOB NUMBER
<u>IHS</u>	<u>11-15-91</u>	<u>11-1158</u>



ø = EXISTING HEADS TO REMAIN AS IS  
 • = LOCATION OF RELOCATED HEAD  
 130 SQ FT MAXIMUM SPACING  
 EXIST 9-ø SUSP CLG  
 BLDG PERMIT #5947

RELOCATION OF 14 EXISTING DROPS,  
 NO NEW HEADS WERE ADDED



# **SEATTLE MORTGAGE TENANT**

1/8"=1'-0"

6450 SOUTHCENTER BLVD SUITE #106 TUKWILA, WA.

# **TEGRIS FIRE PROT**

14415 SE 128TH STREET RENTON, WA. 255-6644	MARCH 1990 JOB #1684A
--	--------------------------

6450 S.C. Blvd  
#106

<b>ACCEPTED</b>	
<input checked="" type="checkbox"/>	WITHOUT COMMENTS.
<input type="checkbox"/>	AS NOTED IN RED
<input type="checkbox"/>	PER THE ATTACHED LETTER
<p>The drawings affixed hereto have been reviewed and accepted by the City of Tukwila Fire Dept. Additions, deletions or revisions to these drawings after this date will void this acceptance and will require a resubmittal of revised drawings.</p> <p>Final acceptance is subject to field inspection by a representative of this department</p> <p>DATE: <u>3/14/90</u> BY: <u>SK 512</u></p> <p>CITY OF TUKWILA 575-4407</p>	

TUKWILA FIRE DEPARTMENT  
Please call: 575-4407  
and give this job  
No. 90-0042  
and exact address for shut-  
down or restoration approval.

FILE

RECEIVED  
MAR 14 1990  
REGISTRATION

PAID  
#2041





ACCEPTED

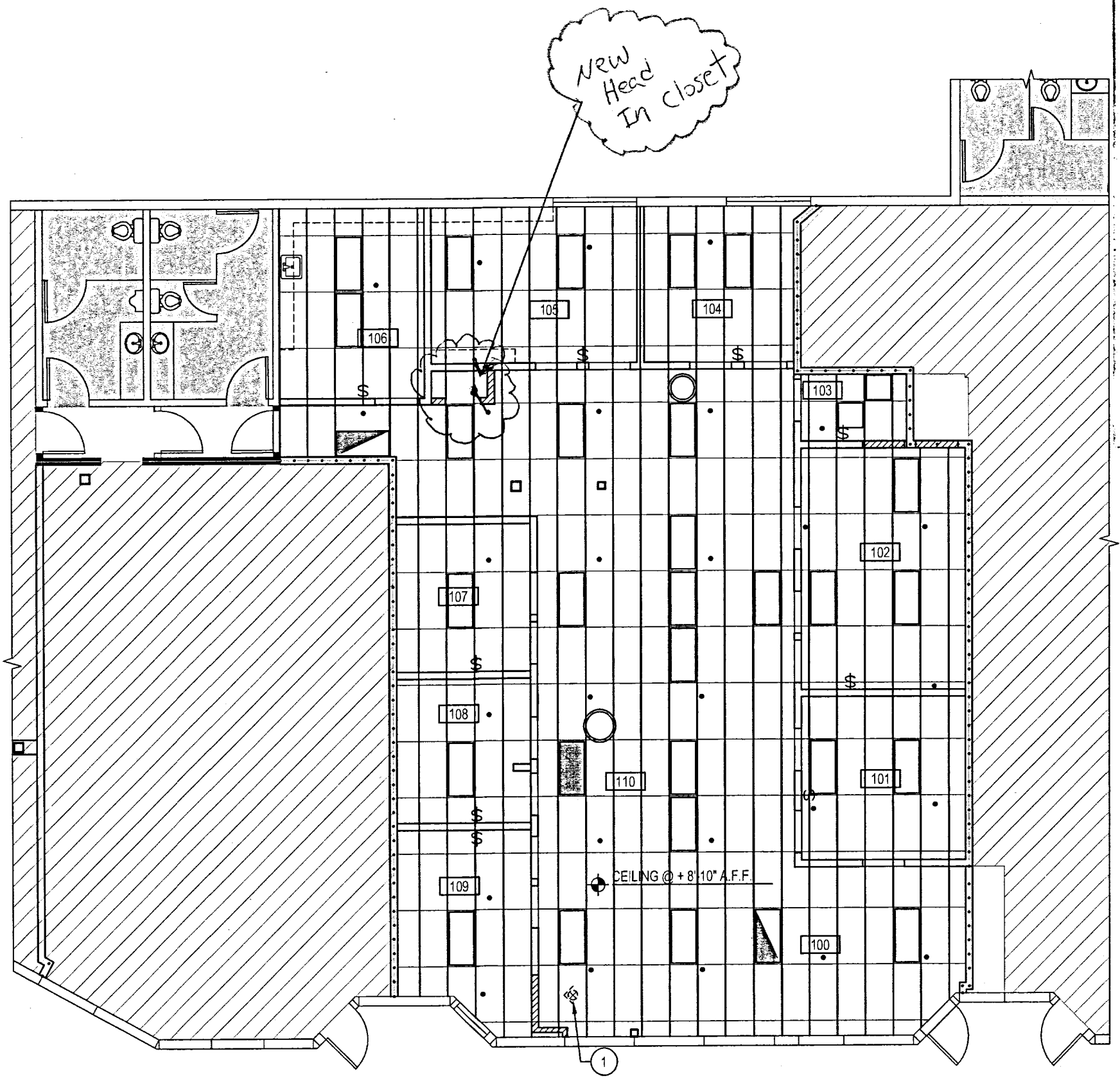
- ☒ Without Comments
- ☐ As Noted in Red
- ☐ Per The Attached Letter

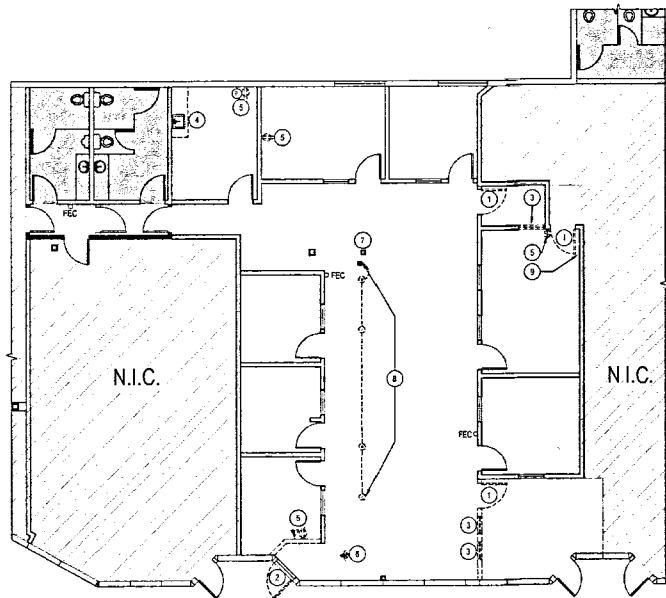
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Final acceptance is subject to field test and inspection by The Tukwila Fire Prevention Bureau.

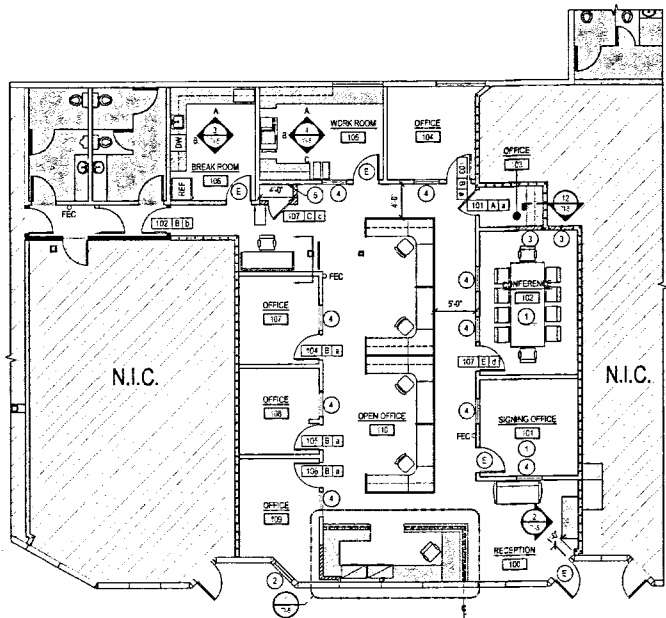
Date: 3-3-14 By: Am 5/1

TUKWILA FIRE DEPARTMENT  
Please call 206-575-4407 and  
give this Fire Permit No.  
14-S-038  
and exact address for shut-  
down or restoration approval.





1 FIRST FLOOR DEMOLITION PLAN  
1/8" = 1'-0"



2 FIRST FLOOR CONSTRUCTION PLAN  
1/8" = 1'-0"

#### DEMOLITION LEGEND

- EXISTING BUILDING CORE TO REMAIN
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED

#### CONSTRUCTION LEGEND

- EXISTING BUILDING CORE
- EXISTING CORRIDOR PARTITION
- NEW BIS DEMISING PARTITION. SEE DETAIL 1713-1
- NEW BIS TENANT INTERIOR PARTITION. SEE DETAIL 1711-1
- NEW BIS PARTIAL HEIGHT PARTITION. SEE DETAIL 1071-1
- FEC
- EXISTING FIRE EXTINGUISHER. U.N.O.
- ALIGN

#### DEMOLITION NOTES

1. A CLEAR PATH OF EGRESS TRAVEL SHALL REMAIN OPEN AT ALL TIMES DURING DEMOLITION.
2. DISRUPTION OF THE BUILDING FIRE ALARM, ELECTRICAL POWER, WATER, OR LIFE SAFETY SYSTEMS MUST BE COORDINATED WITH ALL GOVERNING AGENCIES & THE BUILDING MANAGEMENT.
3. ALL DEBRIS SHALL BE REMOVED FROM THE CONSTRUCTION SITE DAILY.
4. ALL DEMOLITION SHALL BE PERFORMED IN ACCORDANCE WITH THE BUILDING MANAGEMENT'S RULES AND REGULATIONS WITH MINIMAL DISTURBANCE TO OTHER TENANTS.
5. THE CONTRACTOR SHALL PROVIDE DUST BARRIERS FOR PROTECTION OF EXISTING ADJACENT AREAS. ALL HVAC SYSTEMS ARE TO BE PROTECTED DURING DEMOLITION.
6. THE CONTRACTOR SHALL NOTIFY THE OWNER AND USA OF ANY DEMOLITION WORK THAT IMPACTS THE STRUCTURAL INTEGRITY OF THE BUILDING.
7. THE GENERAL CONTRACTOR SHALL IMMEDIATELY REPORT ALL ACCIDENTS, ERRORS OR DEFECTS TO THE BUILDING MANAGEMENT.
8. REMOVE ALL EXISTING LIGHT FIXTURES. REFER TO 1713.

#### DEMOLITION KEYNOTES

1. REMOVE EXISTING DOOR ASSEMBLY AND ASSOCIATED HARDWARE. SAVE FOR REINSTALLATION WHERE POSSIBLE.
2. EXISTING ENTRY DOOR ASSEMBLY AND ASSOCIATED HARDWARE TO REMAIN IN CLOSED AND LOCKED POSITION. REMOVE DOOR CLOSER.
3. REMOVE EXISTING RELITE ASSEMBLY. RETURN TO LANDLORD.
4. DEMOLISH EXISTING CASEWORK. RE-USE EXISTING PLUMBING LOCATIONS.
5. REMOVE EXISTING ELECTRICAL DEVICES AND SWITCHES. RE-USE LOCATIONS WHERE POSSIBLE.
6. REMOVE EXISTING CEILING MOUNTED EXIT SIGN. SAVE FOR RELOCATION.
7. EXISTING COLUMN TO REMAIN. TYP.
8. REMOVE ANY UNUSED POWER & DATA WIRING AT FLOOR, INCLUDING MONUMENTS AND POWER POLES. REFER TO 1714.
9. REMOVE EXISTING WALL MOUNTED DOOR STOP.

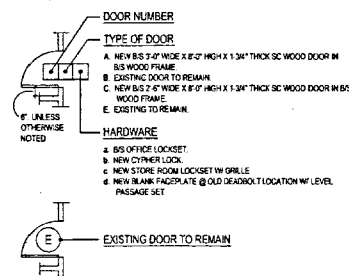
#### CONSTRUCTION NOTES

1. MAINTAIN A CLEAR PATH OF TRAVEL AT ALL TIMES DURING CONSTRUCTION.
2. DISRUPTION OF THE BUILDING FIRE ALARM, ELECTRICAL POWER, WATER, OR LIFE SAFETY SYSTEMS MUST BE COORDINATED WITH ALL GOVERNING AGENCIES & THE BUILDING OWNER / MANAGEMENT AND TENANT.
3. INSTALL DOUBLE STUDS AT DOOR JAMBS AND HEADERS.
4. PROVIDE FIBER GLASS REINFORCED WATER RESISTANT GYPSUM BOARD IN AREAS SUSCEPTIBLE TO MOISTURE.
5. DIMENSIONS ARE FINISH SURFACE TO FINISH SURFACE. U.N.O.
6. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE ARCHITECT.

#### CONSTRUCTION KEYNOTES

1. FIELD VERIFY EXISTING WALLS ARE SOUND AND ATTACHED AND INSULATION EXISTING ABOVE CEILING TO EXTEND TO 2" ON EITHER SIDE OF WALLS THIS ROOM. INSTALL IF NONE IS PRESENT.
2. INFILL EXISTING WALL WITH NEW BIS STOREFRONT SYSTEM TO MATCH EXISTING ADJACENT.
3. INFILL EXISTING OPENING.
4. EXISTING RELITE TO REMAIN.
5. NEW 7' x 7' FIRE TREATED PLYWOOD PANEL FOR TENANT-PROVIDED EQUIPMENT.

#### DOOR SCHEDULE



- NOTES
1. PROVIDE CODE COMPLIANT HARDWARE. ALL HARDWARE TO BE LEVER TYPE. HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34" MIN. AND 48" MAX. ABOVE THE FLOOR.
  2. THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN DOORS OTHER THAN FIRE DOORS SHALL BE AS FOLLOWS: INTERIOR HINGED DOOR - 5.0 POUNDS (22.2 N); SLIDING OR FOLDING DOOR - 5.0 POUNDS (22.2 N). THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RESIST LATCH HOLD, TRIP OR DISengage OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION. FIRE DOORS SHALL HAVE A MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY.
  3. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 6.5 INCH (167 MM) IN HEIGHT. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 3/4" (19.1 MM) AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50 PERCENT SLOPE).
  4. EXIT DOORS MUST REMAIN UNLOCKED AT ALL TIMES IN THE DIRECTION OF EGRESS. PASSAGE EXIT HARDWARE SHALL REQUIRE NO SPECIAL KNOWLEDGE OR ASSISTANCE TO OPEN OR TO ACCESS.





## 6450 SOUTHCENTER

6450 SOUTHCENTER BOULEVARD  
SUITE 107  
TUKWILA, WASHINGTON 98188

**MSA**  
MARSHALL STEIN ASSOCIATES

1200 WESTLAKE AVE N. SUITE ONE, SEATTLE WA, 98109 (206) 441-1409

DRAWN BY: DA			
CHECKED BY: EG			
JOB NO.: 08029.006			
NO.	REVISIONS INDICATED THIS 	DATE	
	ISSUED FOR REVIEW	12/3/13	E
	ISSUED FOR PERMIT	12/12/13	E
	FINISH PLAN REVISIONS	12/17/13	E
	ELEVATIONS & DETAILS	12/30/13	E

TENANT:

OFFICE TENANT

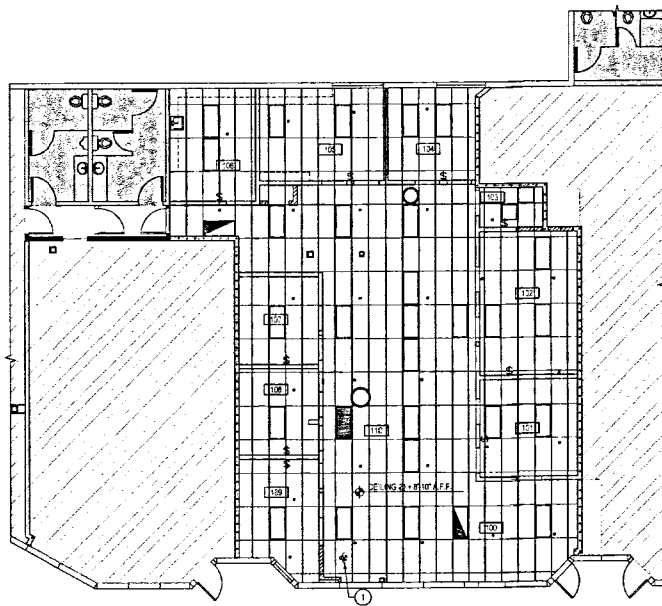
SHEET TITLE:

DEMOLITION &  
CONSTRUCTION PLAN

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TI-2  
OF 6

UNDER THE ACT, 2013  
LAW 9-2013  
CHAPTER 100  
SECTION 100.01  
SECTION 100.02  
SECTION 100.03  
SECTION 100.04  
SECTION 100.05  
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SECTION 100.100



1 FIRST FLOOR REFLECTED CEILING PLAN  
1/8" = 1'-0"

REFLECTED CEILING LEGEND

- EXISTING CEILING GRID AND TILES TO REMAIN
- EXISTING FIXTURES TO BE UPGRADED TO DIRECT INDIRECT FIXTURES. SPEC: LITHONIA A/AMT OR APPROVED EQUAL
- EXISTING 7'x4' RECESSED FLUORESCENT LIGHT FIXTURE LOCATION CURRENTLY BEING USED AS EMERGENCY LIGHTING. LAYOUT SHOWN IS CONCEPTUAL ONLY
- EXISTING 7'x4' RECESSED FLUORESCENT LIGHT FIXTURE TO BE UPGRADED FOR EMERGENCY LIGHTING. LAYOUT SHOWN IS CONCEPTUAL ONLY
- EXISTING SKYLIGHT TO REMAIN
- EXISTING SIG ILLUMINATED EXIT SIGN (DIRECTIONAL WHERE SHOWN)
- EXISTING SIG LIGHT SWITCH
- EXISTING SPRINKLER HEAD (SHOWN FOR REFERENCE ONLY. PERMIT BY OTHERS)

REFLECTED CEILING KEYNOTES

- 1 REMOVE EXISTING ILLUMINATED EXIT SIGN. REPLACE CEILING TILES AS NEEDED

REFLECTED CEILING NOTES

- CHECK FOR CONFLICTS BEFORE INSTALLING OR RELOCATING LIGHT FIXTURES. NOTIFY MSA OF ANY CONFLICTS.
- REPLACE DAMAGED CEILING TILES AND GRID AS NECESSARY TO BRING CEILING TO "LIKE NEW" CONDITION.
- MAINTAIN EXISTING ONE FOOT CANDLE PER SQUARE FOOT AT EXPRESS PATHWAY LIGHTING.
- MAINTAIN 4" CLEAR SPACE IN FRONT OF THE PANEL SIDE OF ANY V.A.V. BOXES.
- DAYLIGHT ZONE CONTROL DAY LIGHTING AS DEFINED BY CODE SHALL BE PROVIDED WITH INDIVIDUAL CONTROLS OR DAYLIGHT OR OCCUPANT SENSING AUTOMATIC CONTROLS PER SECTION C405.2.2.1 OF THE 2012 WASHINGTON STATE ENERGY CODE.
- FIRE SPRINKLERS BY OTHERS UNDER DEFERRED SUBMITTALS.
- COMMISSIONING REQUIREMENTS TEST LIGHTING CONTROLS TO ENSURE THAT THE SYSTEMS COMPLY WITH CODES. PROVIDE A WRITTEN REPORT OF TEST PROCEDURES AND RESULTS TO THE OWNER. SLEEP CONTROLS ARE NOT BUILDING STANDARD. USE OCCUPANCY SENSORS AS REQUIRED.
- EXIT SIGNS ARE INDICATED ON THE REFLECTED CEILING PLAN. THEIR PLACEMENT IS BASED UPON EXISTING CONDITION SURVEY. FINAL NUMBER OF SIGNS, THEIR PLACEMENT AND ARROW DIRECTIONS SHALL BE FIELD VERIFIED WITH THE BUILDING OFFICIAL, CONTRACTOR AND ARCHITECT.
- HVAC CONTRACTOR TO VERIFY THAT ENTIRE SUITE IS A SINGLE ZONE.
- VERIFY THAT CIRCUIT(S) FOR THIS SUITE ARE CONTROLLED BY SWITCHES WITHIN SUITE AND NOT ASSOCIATED WITH ADJACENT SUITES CIRCUITS AND/OR SWITCHING.

LIGHTING CALCULATION

GRID CEILING @ 2'-0" O.C.

WATTS/FIXTURE	# OF FIXTURES	TOTAL WATTS
36	30	1,080
36	2	72
		TOTAL 1,152 WATTS EXISTING TO REMAIN

2,382 TOTAL SF x 3.9 WATTS PER SF = 2,148.18 ALLOWABLE WATTS  
TOTAL EXISTING WATTAGE IS 1,152 - WHICH IS LESS THAN THE  
ALLOWABLE WATTAGE PER 1012 WSEC IN TERNOR LIGHTING POWER  
C405.2.2 (TABLE C405.2.2.1)



6450 SOUTHCENTER

6450 SOUTHCENTER BOULEVARD  
SUITE 107  
TUKWILA, WASHINGTON 98188

MSA  
MARVIN STEIN ASSOCIATES

1500 WESTLAKE AVE IN SUITE ONE, SEATTLE WA, 98107 (206) 441-1449

DRAWN BY: DA

CHECKED BY: EG

JOB NO.: 08029.006

NO.	REVISIONS INDICATED THIS	DATE	BY
	ISSUED FOR REVIEW	12/3/13	EG
	ISSUED FOR PERMIT	12/12/13	EG
	FINISH PLAN REVISIONS	12/17/13	EG
	ELEVATIONS & DETAILS	12/30/13	EG

TENANT:

OFFICE TENANT

SHEET TITLE:

REFLECTED CEILING PLAN

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TI-3  
0' 6"

# 6450 SOUTHCENTER

6450 SOUTHCENTER BOULEVARD  
SUITE 107  
TUKWILA, WASHINGTON 98188

**MSA**  
MARVIN STEIN ASSOCIATES  
1200 WHITELAKE AVE. SUITE 200, SEATTLE, WA 98109 (206) 441-1400

DESIGNED BY:	DA		
CHECKED BY:	EG		
JOB NO.:	08029.006		
NO.	REVISIONS INDICATED THIS	DATE	BY
	ISSUED FOR REVIEW	12/3/13	EG
	ISSUED FOR PERMIT	12/12/13	EG
	FINISH PLAN REVISIONS	12/17/13	EG
	ELEVATIONS & DETAILS	12/30/13	EG

TENANT:  
  
**OFFICE TENANT**

SHEET TITLE:  
**POWER/COMMUNICATIONS  
& FINISH PLAN**

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MSA, 2013.

**TI-4**  
10' 6"

## ELEC / COMMUNICATIONS LEGEND

- BS WALL MOUNTED DUPLEX ELECTRICAL OUTLET.
- BS WALL MOUNTED DEDICATED 120 V 25A FOURPLEX ELECTRICAL OUTLET.
- BS WALL MOUNTED FOURPLEX ELECTRICAL OUTLET.
- BS WALL MOUNTED COMBINATION VOICEDATA OUTLET.
- BLANK FACE PLATE
- POWER POLE: VERIFY EXIST LOCATION AND REQUIREMENTS WITH TENANT'S FURNITURE VENDOR. CONNECT TO EXISTING FLOOR POWER & COMMUNICATIONS SUPPLY.
- NEW

## ELEC / COMMUNICATION NOTES

- ALL ELECTRICAL OUTLETS TO BE MOUNTED AT 15" A.F.F. (AT BASE OF OUTLET) PER N.E.C. REQUIREMENTS U.N.O.
- ROUGH IN ALL DATA AND COMMUNICATION LINES - MUD RING WITH PULL STRING, U.N.O.
- PROVIDE NEW COVER PLATES AND RECEPTACLES AS NEEDED TO MATCH BUILDING STANDARD.
- MAINTAIN EXISTING ELECTRICAL OUTLETS UNLESS LOCATION CONFLICTS WITH NEW CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE ELECTRICAL LIGHTING, CASEWORK AND FURNITURE.

## ELEC / COMMUNICATIONS KEYNOTES

- VERIFY EXISTING ELECTRICAL OUTLET IS GFI. UPGRADE IF NECESSARY.
- UPGRADE DATA PORT TO SUPPORT COUNTERSITY TELEPHONE LINE AS NEEDED.
- 4 DATA PORT CONNECTIONS AT THIS OUTLET.

## FINISH NOTES

- ALL WALLS TO RECEIVE (P-1) U.N.O.
- ALL ROOMS TO RECEIVE (CET-1) U.N.O.
- BASE (B-1) TO BE USED THROUGHOUT, U.N.O.
- PROVIDE (3) SAMPLES OF EVERY FINISH ITEM TO MSA FOR APPROVAL PRIOR TO INSTALLATION.
- PROVIDE JOHNSONITE "ELECTRACAP" ADAPTER C.A.C.C. (OF 3M) IN COLOR (TBD) TO MATCH B-1 AT ALL CARPET TO LVT FLOORING TRANSITIONS.

## FINISH KEYNOTES

- EXISTING FINISHES TO REMAIN IN THIS AREA.
- PATCH FINISHES THIS SIDE OF WALL AS REQUIRED AT AREA OF WORK TO MATCH EXISTING ADJACENT. (NOTE: THIS IS TO BE PRICED SEPARATELY, NOT PART OF TENANT SUITE).
- EXISTING MINI BLINDS TO REMAIN.
- EXISTING PULL DOWN SUN SHADE TO REMAIN.

## 1 FIRST FLOOR POWER/COMMUNICATIONS PLAN

1/8" = 1'-0"

## 2 FIRST FLOOR FINISH PLAN

1/8" = 1'-0"

## FINISH SCHEDULE

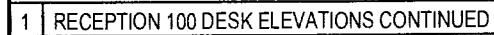
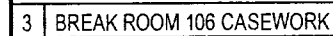
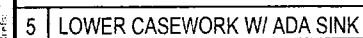
SYMBOL NO.	DESCRIPTION	MANUFACTURER	STYLE	COLOR / FINISH	SIZE	EST. LEAD TIMES	NOTES
CET-1	BROADLOOM CARPET	SHAW CONTRACT	OUTLINE SAIST	UNDERGROUND STAIRS	-	1-2 WEEKS	TYPICAL THROUGHOUT U.N.O. CARPET OVER PAD
LVT-1	LUXURY VINYL TILE	KARNDIAN	OPUS	ARGENT MPM14	-	-	WHERE NOTED
PL-1	PLASTIC LAMINATE	WILSONART	CONTRACT COLLECTION	7120K-01 EMPRESS MAHOGANY	-	-	CASEWORK, VERTICAL SURFACES, U.N.O.
PL-2	PLASTIC LAMINATE	PRONTI	SURIDE	AGG1 SABLE	-	-	CASEWORK, HORIZ. SURFACES, U.N.O.
PL-3	PLASTIC LAMINATE	WILSONART	METALS	6277 ALUMASTEEL	-	-	FILL HEIGHT BACKSPLASH, WHERE NOTED
PL-4	PLASTIC LAMINATE	FORNICA	GLASS	PEARL 834-80	-	-	CASEWORK, VERTICAL SURFACES, WHERE NOTED
SS-1	SOLID SURFACE	PENTAL QUARTZ	POLISHED	9070P-01 OYSTER	34" SLAB	TBD	WHERE NOTED
P-1	PAINT, GENERAL	SHERWIN WILLIAMS	EGGSHELL	SW 7000 ARCADE WHITE	-	-	GWB WALLS, TYP. U.N.O.
P-2	PAINT, ACCENT	SHERWIN WILLIAMS	EGGSHELL	SW 7000 KEYSTONE GRAY	-	-	GWB WALLS, WHERE NOTED
P-3	PAINT, ACCENT	SHERWIN WILLIAMS	EGGSHELL	SW 7000 BLACK FOX	-	-	GWB WALL, WHERE NOTED
W-1	PAINT, WOOD BASE	SHERWIN WILLIAMS	SEMI-GLOSS	SW 7000 BLACK FOX	-	-	WOOD BASE
B-1	RUBBER BASE	JOHNSONITE	STRAIGHT ROLLED GOOD	40 BLACK	4" H.	-	-
W-2	WOOD BASE	TBD	TBD	PAINT P-4	4" H.	TBD	WHERE NOTED
WT-1	WINDOW TREATMENT	B/S	B/S	B/S	MATCH EXISTING	TBD	MINI-BLINDS, VERIFY WIDTH
WT-2	WINDOW TREATMENT	B/S	B/S	B/S	MATCH EXISTING	TBD	SUN SHADES, VERIFY WIDTH
WT-3	WINDOW TREATMENT	3M FILM	OPAQUE	-	FULL LOWER PANELS	TBD	WINDOW FILM

0 5' 10' 20' 30'



1/10/14 8:59am  
C:\Users\jwheeler\Documents\6450 Southcenter Blvd\Working Drawings\6450-11-4-Finish.dwg  
Drawing Title: 6450 Southcenter Blvd - 11-4-Finish.dwg  
Author: jwheeler  
Date: 1/10/14

6450 SOUTHCENTER BOULEVARD  
SUITE 107  
TUKWILA, WASHINGTON 98188

 $3/8" = 1'-0"$ 
$$3/8" = 1'-0"$$
$$3/8" = 1'-0"$$
 $3'8" = 1'-0"$  $3/8" = 1'-0"$ 
$$1\frac{1}{2}'' = 1'-0''$$

## PARTIAL HEIGHT WALL

$$1\frac{1}{2}^{\circ} = 1^{\circ}-0'$$

SECTION AT COUNTER
--------------------

$$1-1/2^{\circ} \approx 1-0^{\circ}$$

2 COUNTER

$$1\frac{1}{2}'' = 1'-0''$$

### 3 | DRAWER CASEWORK

 $1-1/2^x = 1-0^x$ OFFICE TENANT

SHEET TITLE:

## ELEVATIONS & DETAILS

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DRAWING, WITHOUT EXPRESSED PERMISSION BY NSA, IS A  
VIOLATION OF FEDERAL COPYRIGHT LAW. COPYRIGHT BY  
NSA 2013.

T1-5

DATE: DEC. 31, 2013  
TIME: 8:57am  
Color: 100% (P)  
Grouping file: J:\ARND\NCs\Number\16450 Southcenter Blvd\Identity National\Title\Working Drawings\16450-(11-5-6)-(LDT).dwg

6450 50JHILLER

Notes: 1. See also: 6450 Southcenter  
2. See also: 6450 Southcenter  
3. See also: 6450 Southcenter  
4. See also: 6450 Southcenter  
5. See also: 6450 Southcenter  
6. See also: 6450 Southcenter  
7. See also: 6450 Southcenter  
8. See also: 6450 Southcenter  
9. See also: 6450 Southcenter  
10. See also: 6450 Southcenter  
11. See also: 6450 Southcenter  
12. See also: 6450 Southcenter  
13. See also: 6450 Southcenter  
14. See also: 6450 Southcenter  
15. See also: 6450 Southcenter  
16. See also: 6450 Southcenter  
17. See also: 6450 Southcenter  
18. See also: 6450 Southcenter  
19. See also: 6450 Southcenter  
20. See also: 6450 Southcenter  
21. See also: 6450 Southcenter

1	WORK COUNTER	1-1/2" = 1'-0"	2	ADA COUNTER	1-1/2" = 1'-0"	3	NOT USED	NA	
4	NOT USED	NA	5	NOT USED	NA	6	NOT USED	NA	
7	CASEWORK W/ MICROWAVE SHELVES	1-1/2" = 1'-0"	8	UPPER AND LOWER CASEWORK	1-1/2" = 1'-0"	9	NOT USED	NA	
12	NOT USED	NA	13	NOT USED	NA	14	NOT USED	NA	
17	NOT USED	NA	18	NOT USED	NA	19	NOT USED	NA	

6450 SOUTHCENTER  
6450 SOUTHCENTER BOULEVARD  
SUITE 107  
TUKWILA, WASHINGTON 98188

**MSA**  
MARSHALL STEIN ASSOCIATES  
1304 WESTLAKE AVE N. SUITE ONE, SEATTLE WA 98109 (206) 441-1449

DRAWN BY: DA  
CHECKED BY: EG  
JOB NO.: 08029.006

NO.	REVISIONS INDICATED THIS	DATE	BY
	ISSUED FOR REVIEW	12/3/13	EG
	ISSUED FOR PERMIT	12/12/13	EG
	FINISH PLAN REVISIONS	12/17/13	EG
	ELEVATIONS & DETAILS	12/30/13	EG

TENANT:  
OFFICE TENANT

SHEET TITLE:  
DETAILS

REPRODUCTION, ALTERATION OR PUBLICATION OF THIS DRAWING, WITHOUT EXPRESSED PERMISSION BY MSA, IS A VIOLATION OF FEDERAL COPYRIGHT LAW. COPYRIGHT BY MSA 2013.

TI-6  
OF 6

TUKWILA FIRE DEPARTMENT  
Please call: 575-4407  
and give this job  
No. 09-5-009  
and exact address for shut-  
down or restoration approval

ACCEPTED

☐ Without Comment's  
☐ As Noted  
☒ For Attached Letter

NOTICE

Weld stamps must be  
inspected before pipe is  
hung. Do not paint piping  
prior to hydrostatic test  
approval.

These plans have been approved by The Tukwila Fire  
Prevention Bureau in accordance with current City  
standards. Acceptance is subject to errors and  
omissions which could be the result of violations of adopted  
standards and ordinances. The responsibility for the  
adequacy of design and construction is with the designer.  
Additions, deletions or modifications to these drawings after  
this date will void this acceptance and will require a  
resubmission of revised drawings for subsequent approval.

Final acceptance is subject to field test and inspection by  
The Tukwila Fire Prevention Bureau.

Date: 1-14-09 By: Am 511

FILE COPY

CEILING NOTES:

1. RE-CIRCUIT SWITCHING OF EXISTING LIGHTING AS NECESSARY TO  
COMPLY WITH NEW LIGHTS LAYOUT.
2. RE-USE EXIT SIGNS AS POSSIBLE
3. SEE 8071-1 FOR CEILING LIGHTING LEGEND NOTES.
4. SEE 13171-1 FOR SUSPENDED CEILING SUPPORT REQUIREMENTS.

LIGHTING CALCULATIONS:

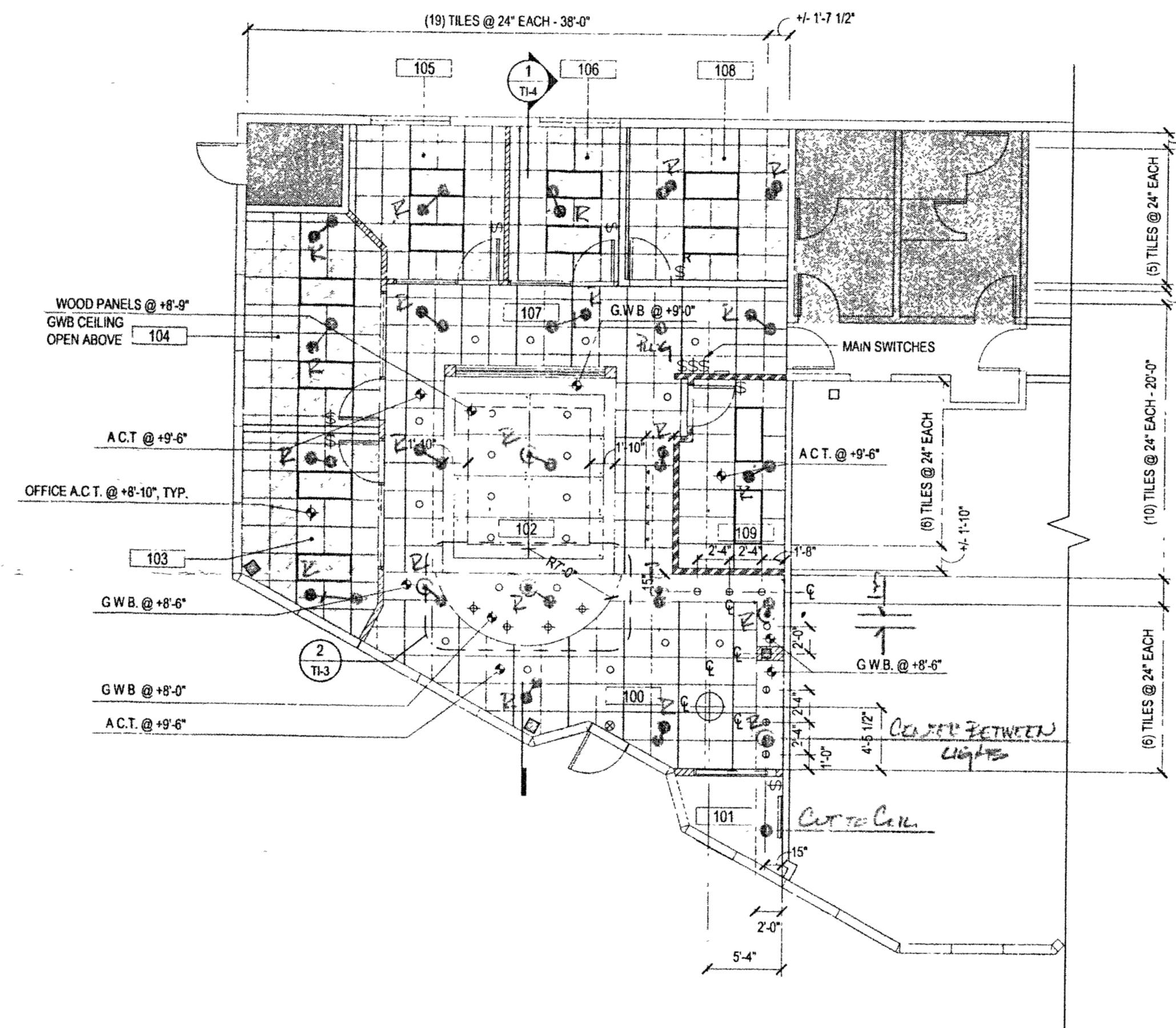
AREA OF WORK 1,812 U.S.F.

ALLOWABLE WATTAGE  
1,812 X .95 = 1721 WATTS

WATTAGE USED:

- TENANT SPACE = 12 - 2'x4' RECESSED FLUORESCENT (DIRECT/INDIRECT) FIXTURE @ 56  
WATTS EA = 672 WATTS  
23 - COMPACT FLUORESCENT 6" RECESSED CAN LIGHTS @ 18 WATTS EA =  
414 WATTS  
4 - (1 LIGHT) MINI PENDANT FLUORESCENT FIXTURES @ 26 WATTS EA =  
104 WATTS  
1 - (3 LIGHT) DRUM PENDANT FIXTURE @ 26 WATTS EA =  
78 WATTS  
6 - COMPACT FLUORESCENT 6" RECESSED WALL WASHERS @ 18 WATTS EA =  
108 WATTS  
1 - 6FT SINGLE CIRCUIT TRACK WITH (5) LIGHTS @ 50 PAR 20 EA =  
250 WATTS

TOTAL WATTS USED: 1626 WATTS



3 REFLECTED CEILING PLAN

1/8" = 1'-0"

NOTES  
ALL TENANTS NOTIFIED PER ORDINANCE  
HAZARD FOR NFPA-13  
ALL NEW PIPING SLOPED 40  
ALL NEW PIPING HUNG WITH 1/2\"/>

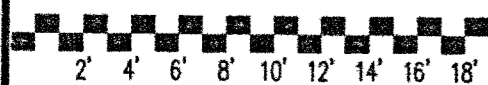
PAID

JAN 14 2009  
# 20477  
Tukwila Fire  
\$1169.30



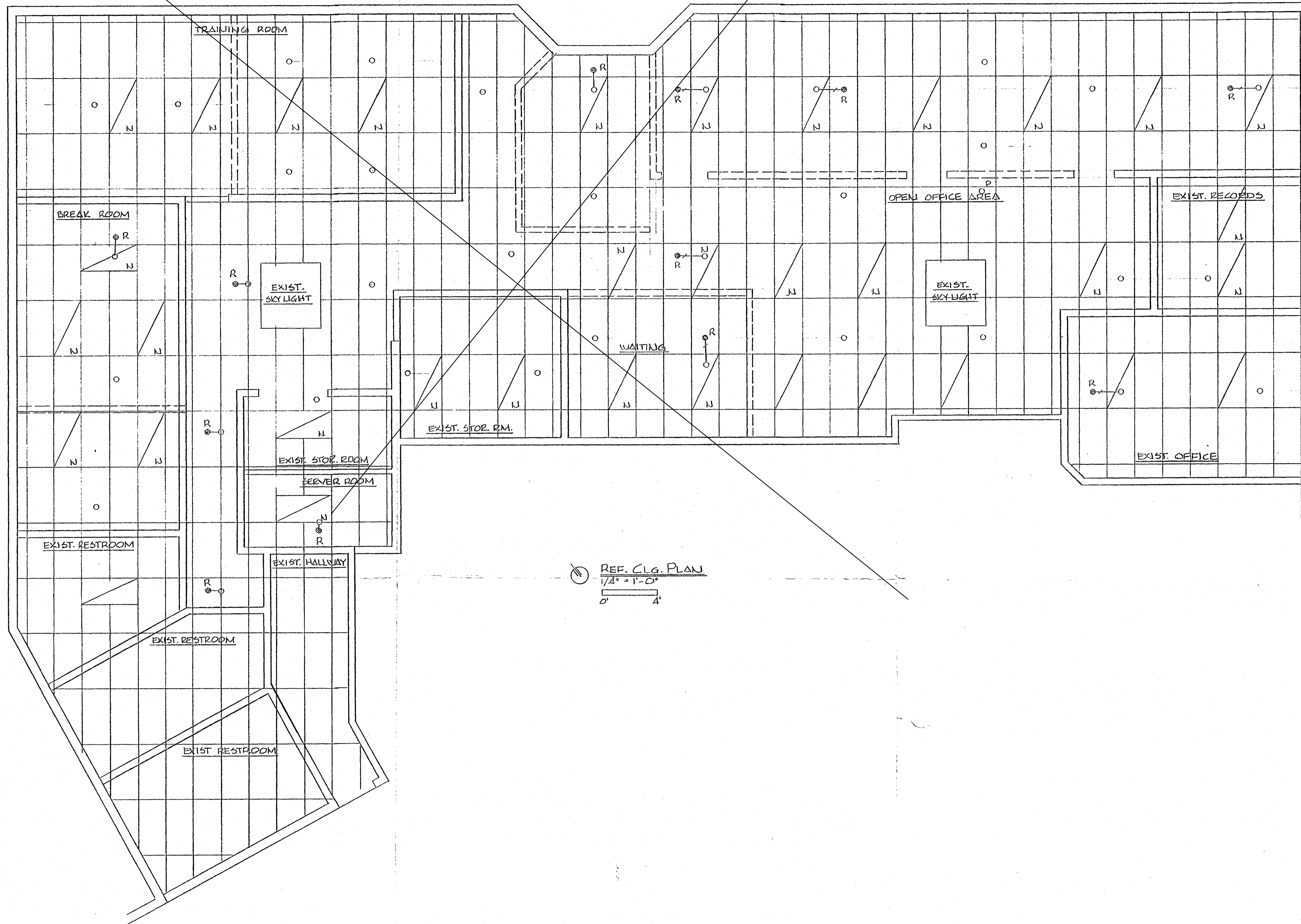
SPRINKLERS			
PENDENTS			EXISTING
PENDENT	●	155°	1/2" VIKING EX
PENDENT	◎	155°	1/2" VIKING @
			CANCELLED
TOTAL			

<b>ADVANCED</b> FIRE PROTECTION INC.	
Phone: 425-483-5857 Fax: 425-483-5077 P.O. BOX 1543 - WOODBURY, WA 98072 E-MAIL: advfire@comcast.com	
JOB: SEATTLE STINGS BLANK 6450 SOUTH CENTER BLVD	BY: DET DATE: 1/14/09 SCALE: NOTED
# TUKWILA	1 OF 1



FILE

HGR'S ARE 3/8" SAMMY GST-20 OR 3/8"-20 TO  
WOOD JST. ABV. CLG N 3/8" A.T.R. & PIPE RING



**SCOPE OF WORK**  
RELOCATE PEND. HEADS AT SUSP. CLG'S FOR NEW LIGHT LOCATIONS &  
REMOVED WALLS - NO WORK IN AREAS DESIGNATED AS EXIST.

**DESIGN CRITERIA** ORD 1  
NFPA 13, 2010 EDITION - LIGHT HAZ. FOR OFFICE OCCUPANCY - MAX. OF  
2 HEADS FED FROM EXIST. 1" OUTLET

**GENERAL NOTES**  
1. ALL MATERIAL AND INSTALLATION PER NFPA 13  
2. ALL ARM-OVERS EXCEEDING 24" TO BE HUNG PER NFPA 13 - 12' IF SYSTEM  
PRESSURE EXCEEDS 100 PSI  
3. ALL NEW PIPE IS SCH. 40 BLACK STEEL W/D.I. SCREWED FITS  
4. TESTING PER NFPA 13 & LOCAL AUTHORITY HAVING JURISDICTION  
5. T.I. MODIFICATIONS DO NOT AFFECT THE SYSTEM HYD. CALC'S

**LEGEND**

---	EXIST. PIPE	----	EXIST. WALL TO BE REMOVED
---	NEW PIPE		
---	HANGER LOCATION		
(X'-X")	CLG HEIGHT		
O	EXIST. SPRINKLER - RELIABLE MOD. G CHROME RECESS 1/2" K=5.4		
R	NEW LOCATION OF EXIST. PEND. HEAD		
OP	REMOVE EXIST. DROP & INSTALL 1" PLUG ABV. CLG.		
		QTY. = 12	
		1	
		TOTAL	13

**ACCEPTED**

☐ Without Comments  
☒ As Noted in Red  
☒ Per The Attached Letter

These plans have been reviewed by The Tukwila Fire Prevention Bureau for compliance with current City standards. Acceptance is limited to errors and omissions which are the responsibility of the adopted standards and not the responsibility of the designer. Additions, deletions, or changes to these drawings after this date will require a permit and will require a resubmittal of drawings for subsequent approval.

Final acceptance is subject to final test and inspection by The Tukwila Fire Prevention Bureau.

Date: 10-10-16 By: Amell

TUKWILA FIRE DEPARTMENT  
Please call 206-575-4407 and  
give this Fire Permit No.  
16-5-211  
and exact address for shut-  
down or restoration approval.

WASHINGTON STATE  
FIRE PROTECTION SPRINKLER SYSTEMS  
CERTIFICATE OF COMPETENCY  
Jerry Dan Moffett  
0043-0691-C Level 3  
Ace Fire System, L.L.C.  
ACEFIS0043  
Signature: [Signature] Date: 10/10/16 Expires: 12/31/16

PAID  
OCT 11 2016  
TUKWILA FIRE  
\$306.00 CC

**ACE**  
FIRE SYSTEMS LLC  
P.O. BOX 2065 CONTR. REG # ACEFIS908M3  
BUCKLEY, WA 98321-2065  
BUS: (206) 414-1573 CELL: (206) 349-1175 FAX: (360) 829-4301

UBER T.I.  
6450 SOUTHCENTER BLVD. #202  
TUKWILA, WA 98188  
CONTR. WITH: SUPERIOR BUILDERS  
6313 20TH ST. E  
FIFE, WA 98424  
253-922-7160

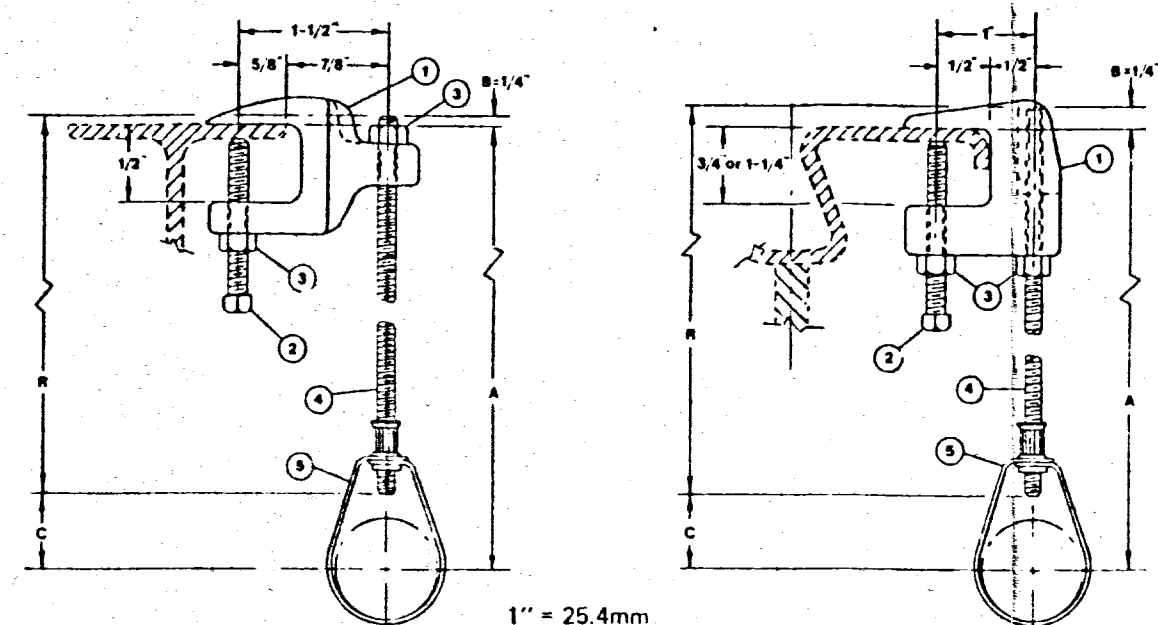
DATE 10-10-16	REVISED	LOF 1
DRAWN BY J.D.M.	SCALE AS NOTED	

BLDG. PERMIT #  
PARCEL # 0003700011

0110 SE Bldg #202

# No. 25 Top Beam C-Clamp Hangers

- Hanger Rings / C-Clamps: UL Listed & FM Approved
- Hanger Rods: Comply with NFPA 13
  - All Thread Rods
  - Machine Thread Rods
- Finishes:
  - Standard Components
  - All Galvanized Components



- Top Beam C-Clamp with 1/4" Throat - 1/2" thru 4" pipe sizes only
- Top Beam C-Clamp with 3/4" Throat
- Top Beam C-Clamp with 1 1/4" Throat

## Components

1. Top Beam C Clamp
2. Set Screw
3. Lock Nut (Hex Nut)
4. Hanger Rod
5. Adjustable Hanger Ring

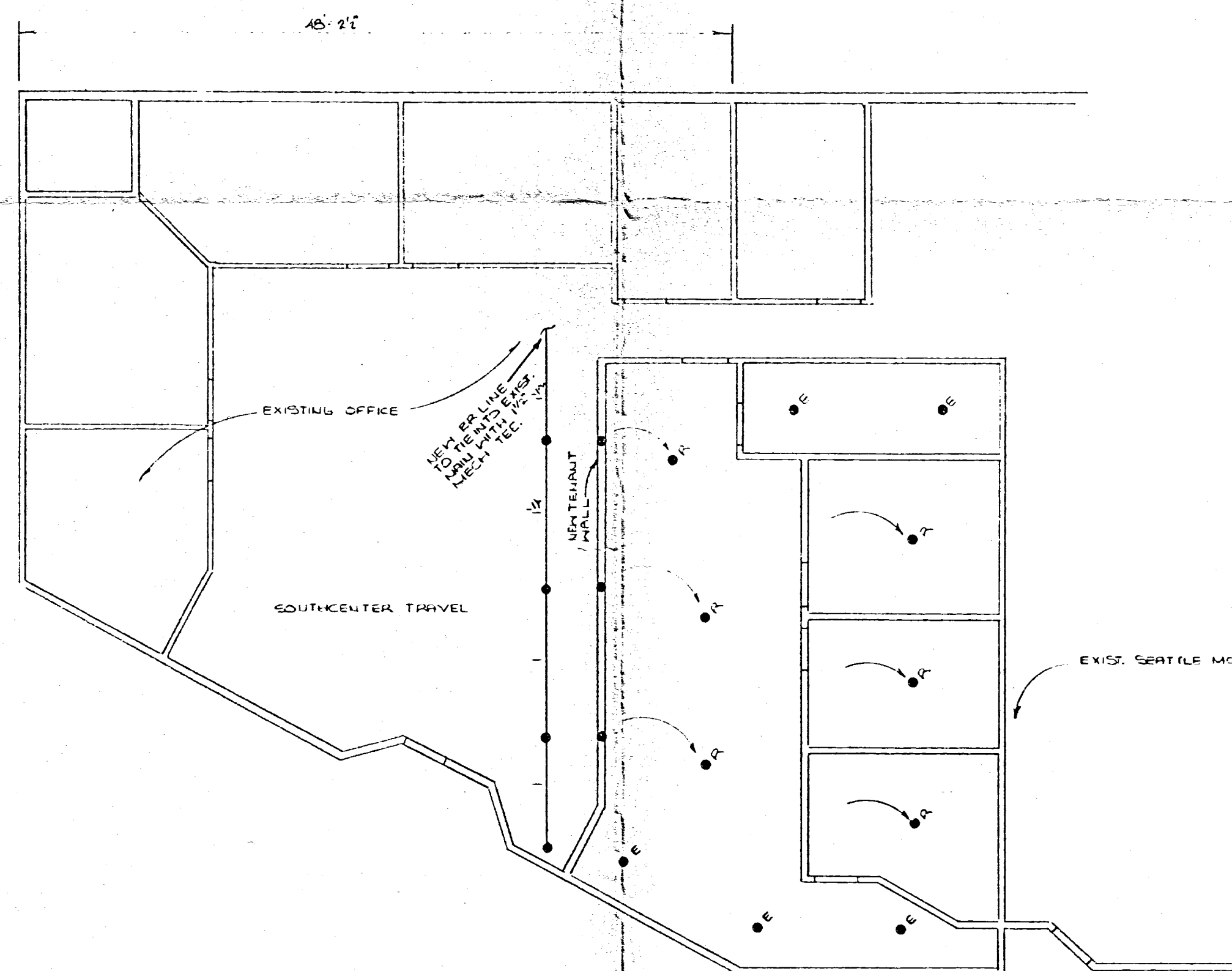
## Application / Description

No. 25 Hangers are designed primarily for the support of piping from the top of structural steel members. They utilize C-clamps that are specifically listed/approved for attachment to the flat top section of beams, bar joists, and so forth.

These hangers may also be used on the bottom chord/flange of structural members if the steel is flat (i.e., not tapered) at the point of contact with the upper jaw of the C-clamp. For information on other hangers which utilize C-clamps designed specifically for bottom of steel attachment, refer to other data sheets in Section C.2.

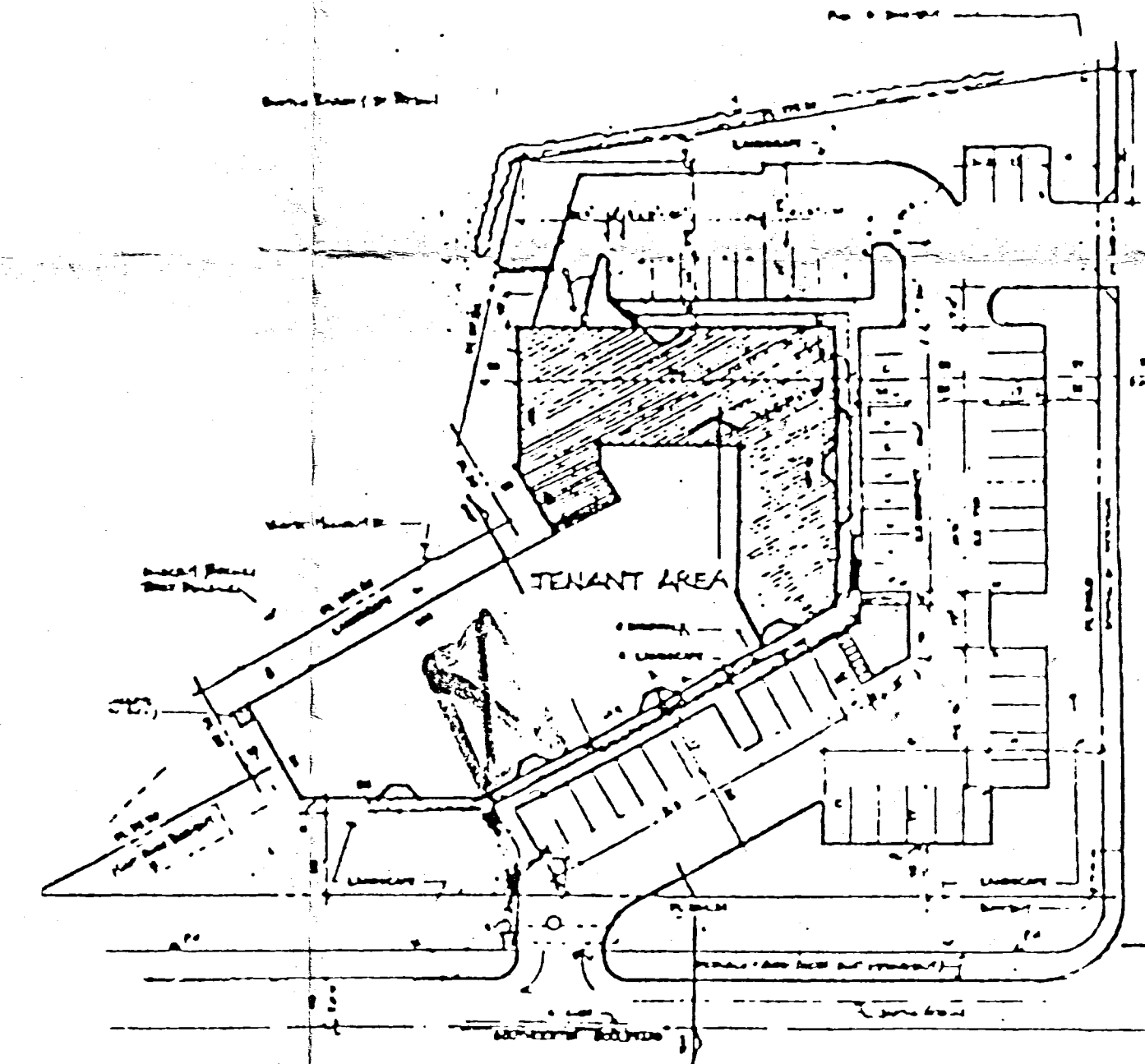
There are 6 components in a basic No. 25 Hanger: The C-clamp with its set screw and lock nut, a threaded hanger rod and locking hex nut, and an adjustable hanger ring. The rod may be either all thread rod (ATR) or machine thread rod (MTR). All thread rod is considered to be standard, however. As a rule, machine thread rod is provided only when it is a specific requirement of the job specifications.

HANGER DETAIL  
NO SCALE

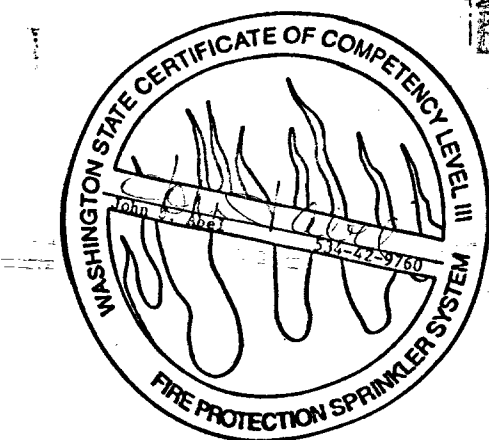


SPRINKLERS: PELIARD E MODEL 11  
E = EXISTING  
R = RELOCATED  
A = ADDED  
TOTAL 10

NEW OFFICE  
SCALE 1/8" = 1'-0"



SITE PLAN  
NO SCALE



TUKWILA FIRE DEPARTMENT  
FIRE CHIEF: 575-4407  
FIRE CHIEF: 575-4407  
FIRE CHIEF: 575-4407  
FIRE CHIEF: 575-4407

PAID  
#6072

JOHN J. ABEL FIRE PROTECTION  
4932 PIONEER RD BOTHELL WA 98012 481-7669

THE MONEY STORE  
TENANT IMPROVEMENT  
4932 SOUTHCENTER BLVD.  
TUKWILA WA

DATE: 10-25-91 DRAWN: MP SHEET 1 OF 1

Thank You  
We Appreciate Your  
Business

ACCEPTED  
WITHOUT COMMENTS.  
AS NOTED IN RED  
FOR THE ATTACHED LETTER

The drawings of this project have been reviewed and accepted by the City of Tukwila Fire Dept. All drawings, details and specifications shall be in accordance with the City of Tukwila Fire Dept. standards and specifications. The City of Tukwila Fire Dept. reserves the right to require a resubmission of drawings.

DATE: 10-30-91 BY: [Signature]  
CITY OF TUKWILA  
575-4407

The new 1 1/2" Branch  
connects to the 5" main

FILE

10/30/91 S.C. [Signature]

THIS DOESN'T SHOW CURRENT  
LAYOYUT