

TO ALL PLANHOLDERS OF RECORD.

RE: Request for Proposals (RFP) – Tukwila Remodel

FROM: Cari Clizbe, Project Manager 360-353-8913 cclizbe@cowlitz.org

PAGE(S): Twelve (12), including this cover sheet.

DATE: January 21, 2026

Transmitted herewith is Addendum No. 1. If the Addendum is not received in full, please contact Cari Clizbe using contact information listed above. If all pages of the Addendum are received, please sign this sheet and include it in your bid package.

Company's Name

Company's Representative

Date

ADDENDUM NO. 1
January 20, 2026

Request for Quotations (RFP) – Tukwila Remodel

This document forms a part of and modifies the RFP as noted below. Offerors should acknowledge their receipt of this Addendum to the street address or email address listed below with your RFP submission package. Failure to do so may subject Offerors to disqualification.

FOR: Cowlitz Indian Tribe
Public Works Department
929 Fir Street
Longview, Washington 98462
Attention: Cari Clizbe
Email: cclizbe@cowlitz.org

The following corrections, clarifications and/or deletions to the RFP are hereby made a part of said documents.

This addendum consists of twelve (12) pages.

ADDENDUM NO. 1

QUESTIONS AND ANSWERS

1. Q. Is there an estimated cost for the project?
 - A. The expectation is the proposal will have a cost to complete the project based on the scope of work provided in the RFP.
2. Q. Does the above project currently have an estimated budget or value?
 - A. The expectation is the proposal will have a cost to complete the project based on the scope of work provided in the RFP.
3. Q. Bid date and any bidding opportunities/bidders list
 - A. Information on the bid can be found in the RFP packet.
4. Q. Estimated start and end dates/Email for subs to send their bids to
 - A. To be determined
5. Q. Current permitting status/Est value or sq ft (if applicable)
 - A. Permits have not been submitted yet.
6. Q. Any updates to the project scope or timeline (sq ft/value/address)
 - A. Any added updates would have been posted following the RFP process.

7. Q. Who is the Fire Alarm and Sprinkler company for the building and/or who will you be using to monitor the build once operational?
A. Red Hawk or Cintas or WA Alarm.

8. Q. Who is the security company you will be using to maintain the building?
A. Cowlitz Indian Tribe currently has a contract with Pacific Security.

9. Q. What areas will be occupied during construction and how do you plan to move around operationally with the work being performed? This will impact the overall timing of the project and cost.
A. The building will not be occupied during construction,

10. Q. In the scope it calls out: "new supply diffusers, return grilles, balancing and fire/smoke dampers, and ductwork will be provided to serve spaces within the tenant improvement". Is this being provided by the owner? Or should the contractor include this in the proposal?
A. Revised text to read: "**Provide** new supply diffusers, return grilles, balancing and fire/smoke dampers, and ductwork ~~will be provided~~ to serve spaces within the tenant improvement".

11. Q. In the general conditions it calls out the use of a guard service. Is this something you want contractors to provide in the budget?
A. Owner will supply guard services.

12. Q. Is there a good faith survey for the site to determine hazardous materials?
A. No good faith survey exists.

13. Q. What design services will be needed from the contractor? This is located on page 96-99 and calls out structural and engineering as examples. It also references mock-ups (page 103). Is this something the contractor is responsible for? Or your architect?
A. The two structural items in the project scope are the support for the relocated existing operable partition and the support for the Procedure Room Exam light.
a. For the operable partition, once the ceiling is opened up and the support is exposed, provide a design for support to replicate the existing in the new location.
b. Procedure light support detail 11/A10.11 shows tube steel/plate support. Design for the bolted connections are to be provided per the support requirements of the selected exam light

14. Q. The general requirements call out references to LEED certifications, for example a waste management plan with LEED certification. Are you looking for this project to be LEED Certified? Pages 160-166 in the PDF call out some of the requirements for your reference. There is also a requirement for sustainable design reporting through Green Globes and seeking sustainability certification for the project.
A. No LEED certification or reporting through Green Globes is required.

15. Q. Confirm nothing exterior is on scope. Demo procedures call out exterior items on page 181 of the PDF.

A. There is limited exterior work. See keynotes 7 and 8 on Demolition Plan A1.02 and Keynote 2 on Enlarged Plan A2.01.

16. Q. Do as-builds exist for the existing property?
A. There are record permit drawings of the original core and shell and limited information on subsequent tenant improvements. See 'Permit Drawings-6450 Southcenter Blvd-New building' and 'Royal Coachman Office Building' drawings attached to this addendum.

17. Q. It states that you want to use a web-based software and electronic submittal service. Do you have a preference of the software you'd like to use?
A. To be determined.

18. Q. Confirm that the two small panels in the small electrical room are to be removed with (3) new 200 amp panels installed in the new electrical rooms as shown on the drawings.
A. See note at electrical room regarding panel demolition on Enlarged Power Plan Sheet E2.03.

19. Q. Confirm the Data Drop boxes are to be 4 11/16" with 1 1/4" conduit stubs to ceiling. Is a Honeywell Fire Alarm system acceptable?
A. Refer to Electrical Basis of Design in the Project Manual, preceding Section 01 20 00 for drop boxes and conduit size.

20. Q. Is the building continuing to be fully sprinkled?
If Building is fully sprinkled can the Heat detectors, pulls, and smoke detector quantities be reduced from what is show on the drawings?
A. Building will be fully sprinklered. Bid as shown.

21. Q. Confirm if the Fire Alarm panel is to remain in the main electrical room that remains. Drawings mention FIRE RATED cable (expensive), Can the Fire Alarm cable be Plenum and Riser rated?
A. See note at Electrical Room on Enlarged Systems Plan, Sheet E4.03 for panel. Bid fire alarm cable as indicated,

22. Q. Confirm preferred Security system Manufacturer.
A. To be determined.

23. Q. Confirm which doors are required to have Push buttons and Card readers.
A. Refer to the comments column in the Door Schedule, Sheet A10.03 which indicates doors with card readers,

24. Q. Confirm keypad locations and quantities.
A. There are no keypads in the project scope.

25. Q. Confirm camera locations and requirements.
A. Camera locations and requirements to be coordinated with Owner,

26. Q. Can you clarify the backing format for Carpet Tile? Ethos or Flex Aire?
A. Ethos.

27. Q. Will there be any additional on-site meetings?
A. No.

28. Q. Furthermore, was attendance at the initial pre-bid meeting mandatory in order to submit a bid for this project?
A. Yes.

29. Q. Do you have a preferred start date for the Cowlitz Tukwila TI project?
A. See response to question #4.

30. Q. Do you have a preference or is it when you get through contract negotiations and planning?
A. During contract negotiations.

31. Q. Is Cowlitz leasing or purchasing the building?
A. The Cowlitz Tribe owns the building

32. Q. Is the building currently occupied?
A. See response to question #9.

33. Q. What year was the building originally constructed?
A. The building was constructed in 1988.

34. Q. Will the project be phased?
A. Work will be constructed in a single phase.

35. Q. Will construction occur in an occupied environment?
A. See response to question #9.

36. Q. What is the intended construction agreement type: stipulated sum, negotiated GMP, or T&M?

- The specifications reference Cost of the Work Plus a Fee.
- The agreement exhibit included appears to be a consultant agreement and is not tailored to general contracting.
- Will a revised sample agreement be issued during the RFP that aligns with the confirmed delivery method?

A. Lump Sum

37. Q. The scorecard appears to be qualifications-based. Where does pricing factor into the evaluation?
A. Pricing will be a factor in our final determination.

38. Q. Is price weighted, or does low bid ultimately determine award?

- A. Low bid does not determine award.
- 39. Q. Will there be a short list with interviews?
 - A. Yes. Top four will present to the CIT leadership team.
- 40. Q. Is there a desired construction start date and substantial completion date?
 - A. See response to question #4.
- 41. Q. A structural engineer is listed on the team—should we anticipate any structural scope
 - A. See response to question #13.
- 42. Q. Are MEP as-builts available?
 - A. No. See response to question #16.**A.**
- 43. Q. Is there an Owner's Representative or third-party CM involved?
 - A. Owner's Representative.
- 44. Q. Who owns the existing fire alarm panel?
 - A. Redhawk, Cintas and WA Alarm
- 45. Q. Who owns the existing HVAC controls system?
 - A. Confirm with owner.
- 46. Q. Please confirm whether this is an FM Global project.
 - A. To be determined.
- 47. Q. Is this a LEED project? If so, what certification level is being targeted?
 - A. See response to question #14.
- 48. Q. Is this project subject to federal or state prevailing wage requirements?
 - A. No
- 49. Q. Are there any TERO requirements applicable to this project?
 - A. The Tribe currently does not have a TERO program
- 50. Q. Is it acceptable to include additional information to ensure both sections are fully addressed?
 - A. Not Applicable.
- 51. Q. Is the job walk mandatory?
 - A. Yes.
- 52. Q. Given that MEP is design/build, may proposers invite key trade partners to attend?
 - A. No.
- 53. Q. Can you please confirm that a bid security is not required for this project, along with a performance and payment bond?

- A. Bid Bond required.
- 54. Q. Is the GC responsible for all permits, and does the permitting go through the tribe or County?
 - A. .GC is responsible for all permits (except building permit will be submitted by the architect) Jurisdiction is the City of Tukwila.
- 55. Q. Are portions of the building going to be in use during construction, and will construction be in phases?
 - A. See response to question #9.
- 56. Q. What is your expected timeline for competition?
 - A. See response to question #4.
- 57. Q. Who is the current vendor for the fire alarm/system?
 - A. Redhawk, Cintas and WA Alarm
- 58. Q. With the MEP's being design-build are you still on track for the 1/29 bid date?
 - A. Yes
- 59. Q. In the selection process, will there be a short list with interviews?
 - A. Yes, top four will present to the CIT leadership team.
- 60. Q. Is Cowlitz leasing or purchasing the building?
 - A. See response to question #31.
- 61. Q. Is it acceptable to include additional information to ensure both sections are fully addressed?
 - A. Yes.
- 62. Q. The RFP references both Davis-Bacon and Washington State prevailing wage requirements for this Cowlitz Tribe project. Could Owner clarify which wage law governs, whether both apply, and which certified payroll/forms we should prepare—particularly given any federal funding or tribal-specific requirements—so we can ensure accurate pricing and compliance?
 - A. See responses to questions 48, 49 & 50.
- 63. Q. The scorecard appears to be qualifications-based. Where does pricing factor into the evaluation? Is price weighted, or does low bid ultimately determine award?
 - A. Pricing will be a factor in our final selection.
- 64. Q. What is the intended construction agreement type: stipulated sum, negotiated GMP, or T&M? The specifications reference Cost of the Work Plus a Fee.
 - A. Lump sum.
- 65. Q. Will a revised sample agreement be issued during the RFP that aligns with the confirmed delivery method?
 - A. No.

66. Q. Project Management Software (Section 01 30 00): Section 1.04.I.2-3 requires the Contractor to pay the cost of a digital management service and provide up to 20 user licenses for the Owner/Architect. Is there a preferred platform required (e.g., Autodesk Construction Cloud), and is this cost intended to be part of the Lump Sum or handled as a reimbursable expense per Attachment E.

A. Yes.

67. Q. A structural engineer is listed on the team but structural plans are not included in the RFP set. Can structural drawings, specifications, sketches or other structural information be made available to bidders?

A. See response to question #13.

68. Q. Is there a desired construction start date and substantial completion date?

A. See response to question #4.

69. Q. Is this a LEED project? If so, what certification level is being targeted?

A. See Response to question #14.

70. Q. Will construction occur in an occupied environment?

A. See response to question #9.

71. Q. Right-of-Way (ROW) Costs: If utility connections require work within the City of Tukwila ROW, please clarify the division of costs. Will the Owner provide/pay for the necessary ROW permits and specialized street restoration bonds? Please confirm if the Contractor's responsibility is limited to the physical construction of the patch/restoration.

A. Will be discussed during contract negotiations,

72. Q. System Development & Impact Fees: Per the RFP submittal terms, the Contractor is responsible for "obtaining all necessary permits." Please confirm that System Development Charges (SDCs), utility impact fees, and municipal capacity charges—which are based on the Owner's specific use—will be paid directly by the Owner and are not to be included in the Contractor's Lump Sum bid.

A. Owner will pay for permit fees

73. Q. During Site Walk, it was mentioned there may be need for the project to be phased to accommodate owner needs.

A. See response to question #34.

74. Q. When is the building anticipated to be vacated?

A. To be determined.

75. Q. Security Procedures (Section 01 35 53): This section outlines security procedures but does not define the perimeter boundary. Please confirm if the Owner will maintain the existing building perimeter security and monitoring, or if the Contractor is required to furnish and pay for 24/7 security personnel and temporary construction fencing.

A. Owner will handle security but not fencing.

76. Q. Consumption Charges (Sheet E0.02): Electrical General Note 2 requires the Contractor to "provide temporary construction power." Please clarify if the Contractor may utilize the existing building's electrical and water services. If so, will the Owner be responsible for the monthly consumption charges during the TI renovation?
 A. Owner will cover.

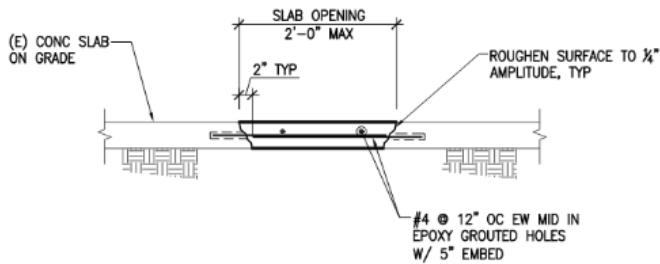
77. Q. Staging & Parking: Please clarify the designated areas available for contractor staging, material laydown, and personnel parking. Will any costs or lost-revenue fees associated with using these spaces (e.g., existing reserved lot fees) be the responsibility of the Owner or waived for the duration of the project?
 A. To be determined.

78. Q. Does this project require a TERO administrative fee or tax based on a percentage of the total contract value? If so, should this fee be included as a separate line item in our bid, or is it handled outside of the construction contract?
 A. Tribe currently does not have a TERO program.

79. Q. Please clarify if Record Set Drawings (As-Builts) are available for the existing building and any previous Tenant Improvement (TI) projects within this existing structure. Information regarding elements such as existing structure, electrical panel schedules will help to inform the proposal process and ultimately, demo, and the design/build scopes of work
 A. See response to question # 16.

80. Q. What year was the building originally constructed?
 A. See response to question #33.

81. Q. What concrete slab thickness should be assumed for trench patch and repair. Please provide a stuctural detail for slab patching.
 A. Add detail for Typical Concrete Slab Infill:



5 TYPICAL CONCRETE SLAB INFILL
NOT TO SCALE

82. Q. Please provide a structural detail for enclosing roof structure at skylight framing
 A. To be determined,

83. Q. Does skylight just south of gridline F get deleted?
 A. Skylight in Exam 139 is to remain.

84. Q. Specification section 083313 paragraph 2.04 notes electric operation for coiling counter doors. Elevation note 07 on sheet 9.02 detail 13 calls for pass thru and "crank operated roll down door". Confirm that coiling grilles are to be manual crank per plans and elevations.
 A. Drawings are correct with reference to manual crank operation for both counter doors,

85. Q. Can you clarify why this wall is rated? Other walls in room are Non-rated.
 A. Reference to fire rating is incorrect. There are no fire rated partitions in the project.

86. Q. Hatching missing from GWB Ceilings on RCP plan A4.00-A4.03. Please clarify which rooms to receive GWB ceilings and which to be PTS
 A. a. On Sheet A4.00 and A4.03 Add note at existing electrical room at the south end of the building to read "Existing finish to remain"
 b. Sheet ID3.00, Finish Schedule, ACT-3 under notes column, delete 'Classroom'
 c. Revise Ceiling Type legend on Sheets A4.00 to A4.03 as shown:

CEILING TYPES

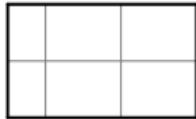
HATCH PATTERNS INDICATE DIFFERENCES IN MATERIALS. PATTERNS DO NOT /
 MAY NOT REFLECT ACTUAL SURFACE MATERIAL, REVEALS OR TEXTURES



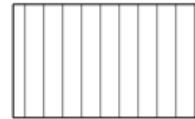
GYPSUM BOARD
CEILING



ACT-2
ACOUSTIC BLADE
CEILING PANELS



ACT-1
2'-0" x 2'-0" CEILING TILE



ACT-3
2' x 2' CONCEALED
SUSPENSION TILE

87. Q. Please confirm the dashed wall and doors are provided by furniture vendor/owner (TYP UNO)?
 A. Refer to drawing legend for line types with corresponding descriptions.

88. Q. Confirm elevation 26/A9.03 mural wall should call for level 5 finish on gwb. (note 19)
 A. Yes mural wall shall have level 5 finish,

89. Q. "Custom Mural" is denoted (e.g. key note #9 on A9.01). Please confirm Custom Mural is "by others" & not intended to be in the Contractor's scope or costs.
 A. Mural will be by others. Contractor to prep wall for mural with Level 5 Finish and primer/sealer

90. Q. Regarding opening #106A, the drawings call for the existing operable wall to be salvaged and reused, while the door schedule (A10.03) specifies a "new upholstery finish." Please provide the specific manufacturer, style, color, and required STC rating for this finish. Note that field-applying new upholstery to an existing unit may void the original manufacturer's warranty and negatively impact the STC performance.

A. Fabric not yet selected. For pricing, use Hytex Textiles Delight or Matrix collections.

91. Q. Given the high cost of field-refurbishing, would the design team prefer a cost proposal to provide a new operable wall that meets all current performance specs and carries a full factor

A. Yes please provide a bid alternate for providing an equivalent new operable partition.

92. Q. There is no specification for residential appliances (refrigerators, coffee maker, dishwasher, disposals, microwaves, range). Confirm all residential appliances are owner furnished, owner installed.

A. There is an equipment list in the project manual (inserted out of sequence following Section 01 10 00). Where no specific manufacturer or model has been selected, a basis of design manufacturer and model are shown as a 'placeholder' for contractor-furnished equipment

93. Q. The countertop in elevation 25/A9.03 is called out as WC-1. Is this supposed to be called out as SS-1 or SS-2?

A. There is no 25 on A9.03. If you are referring to 25/A9.01, the finish should be SS-2.

94. Q. Confirm material finish for countertop at receiving.

A. SS-2

95. Q. What vendor currently maintains the existing HVAC & HVAC controls system?

A. Elite Mechanical.

96. Q. Fixture Types L5 & L6: These fixtures are shown on the drawings, but no specifications (manufacturer, model, or description) are provided in the schedule. Please provide the spec for these types.

A. To be determined.

97. Q. Emergency (EM) Alternates: For types L1, L2, L3, and L4, the drawings indicate "EM" style alternates. However, there are no corresponding specifications for battery packs or emergency-specific drivers in the schedule. Please confirm the requirements for these units.

A. Refer to Electrical Basis of Design in the project manual preceding Section 01 20 00 Price and Payment Procedures, Equipment list and Mechanical Basis of Design

98. Q. Fixture Type L3A: This type is listed in the Fixture Schedule but does not appear on any lighting drawings. Please confirm the locations or if this type quantity is zero.

A. The two half shaded fixtures in Lab 114 should be corrected to be type 3A in lieu of Type 3.

99. Q. Is this lighting layout correct room 175, 184 sheet A4.02, it appears irregular compared to other rooms.

A. No. the three fixtures running at an angle through room 174, 175 and corridor 184 are a drafting error and can be ignored.

100. Q. What vendor currently maintains the existing fire alarm system/panel?

A. Red Hawk, Cintas and WA Alarm.

101. Q. Should we assume the placards/inspection stickers on the equipment represent the current vendor?

A. Yes.

102. Specifications:

Replace SECTION 03 01 00 - MAINTENANCE OF CONCRETE with revised Section 03 01 00 attached as part of this addendum.

103 .Q. I am wondering if the Split System HPs that are on the mechanical schedule, along with the VAVs that are on the plans, are new equipment or are existing? I see that the RTUs are existing and to be reused. However, I couldn't find anything in the specs that referenced new equipment.

A. Refer to the Mechanical Basis of Design in the project manual, following Summary of Work, section 01 10 000 and the equipment list.

104. Drawing Revisions:

Sheet A9.01: Add countertop material callout on elevation 18 to be SS-2.

Sheet A9.02: Correct countertop material callout on elevation 16 to be SS-1.

END OF ADDENDUM NO. 1

SECTION 03 01 00 - MAINTENANCE OF CONCRETE

PART 1 GENERAL

1.01 Section Includes

- A. Cleaning of existing concrete surfaces.
- B. Repair of exposed structural, shrinkage, and settlement cracks.
- C. Resurfacing of concrete surfaces having spalled areas and other damage.
- D. Repair of deteriorated concrete.
- E. Repair of internal concrete reinforcement.
- F. Repair and strengthening of concrete with applied composite materials.
- G. Scope of Work: As indicated on drawings.

1.02 Abbreviations and Acronyms

- A. CFRP: Carbon Fiber Reinforced Polymer.

1.03 Definitions

- A. Carbon Fiber Reinforced Polymer (CFRP): Composite material comprising a polymer matrix reinforced with carbon fiber cloth, mat, or strands.

1.04 Reference Standards

- A. ASTM A615/A615M - Standard Specification for Deformed and Plain Carbon-Steel Bars for Concrete Reinforcement; 2025.
- B. ASTM A775/A775M - Standard Specification for Epoxy-Coated Steel Reinforcing Bars; 2022.
- C. ASTM A996/A996M - Standard Specification for Rail-Steel and Axle-Steel Deformed Bars for Concrete Reinforcement; 2024.
- D. ASTM A1064/A1064M - Standard Specification for Carbon-Steel Wire and Welded Wire Reinforcement, Plain and Deformed, for Concrete; 2024.
- E. ASTM C39/C39M - Standard Test Method for Compressive Strength of Cylindrical Concrete Specimens; 2024.
- F. ASTM C109/C109M - Standard Test Method for Compressive Strength of Hydraulic Cement Mortars (Using 50 mm [2 in.] Cube Specimens); 2024.
- G. ASTM C150/C150M - Standard Specification for Portland Cement; 2024.
- H. ASTM C348 - Standard Test Method for Flexural Strength of Hydraulic-Cement Mortars; 2021.

- I. ASTM C881/C881M - Standard Specification for Epoxy-Resin-Base Bonding Systems for Concrete; 2020a.
- J. ASTM C928/C928M - Standard Specification for Packaged, Dry, Rapid-Hardening Cementitious Materials for Concrete Repairs; 2025.
- K. ASTM C1059/C1059M - Standard Specification for Latex Agents for Bonding Fresh to Hardened Concrete; 2024.
- L. ASTM C1708/C1708M - Standard Test Methods for Self-Leveling Mortars Containing Hydraulic Cements; 2025.
- M. ASTM D3039/D3039M - Standard Test Method for Tensile Properties of Polymer Matrix Composite Materials; 2017.
- N. AWS B2.1/B2.1M - Specification for Welding Procedure and Performance Qualification; 2021, with Errata (2023).
- O. AWS D1.4/D1.4M - Structural Welding Code - Steel Reinforcing Bars; 2018, with Amendment (2020).
- P. ICC-ES AC178 - Acceptance Criteria for Inspection and Verification of Concrete and Reinforced and Unreinforced Masonry Strengthening Using Fiber-Reinforced Polymer (FRP) or Steel-Reinforced Polymer (SRP) Composite Systems; 2017, with Editorial Revision (2020).
- Q. ICRI 310.2R - Selecting and Specifying Concrete Surface Preparation for Sealers, Coatings, Polymer Overlays, and Concrete Repair; 2013.

1.05 Administrative Requirements

- A. Scheduling: Perform blast cleaning only between the hours of 7 am to 10 pm.

1.06 Submittals

- A. See Section 01 30 00 - Administrative Requirements, for submittal procedures.
- B. Product Data: Indicate product standards, physical and chemical characteristics, technical specifications, limitations, maintenance instructions, and general recommendations regarding each material.
- C. Shop Drawings for Applied Composite Repairs: Provide shop drawings signed and sealed by Professional Engineer indicating:
 - 1. Repair location.
 - 2. Repair details.
 - 3. Fiber type, dimensions, number, thickness, and direction of layers.
 - 4. Installation sequence.
 - 5. Splice details.
 - 6. Joint and end details.
 - 7. Anchorage.
 - 8. Connections.
- D. Manufacturer's instructions.
- E. CFRP manufacturer's instructions.
- F. Field quality control submittals.

- G. Field quality control submittals for CFRP.
- H. Designer's qualification statement.
- I. Manufacturer's qualification statement.
- J. Cleaner's qualification statement.
- K. Installer's qualification statement.
- L. Welders' Qualification Statement: Welders' certificates in accordance with AWS B2.1/B2.1M and no more than 12 months before start of scheduled welding work.
- M. Project Record Documents: Accurately record actual locations of structural reinforcement repairs and type of repair.

1.07 Quality Assurance

- A. Designer Qualifications: Perform design under direct supervision of Professional Engineer experienced in design of this type of work and licensed in the State in which the Project is located.
- B. Manufacturer Qualifications: Company specializing in manufacturing products specified in this section, with not less than three years of documented experience.
- C. Cleaner Qualifications: Company specializing in, and with minimum of 3 years of experience in, the type of cleaning specified.
- D. Installer Qualifications: Company specializing in performing work of the type specified and with minimum of 3 years of documented experience.
- E. Welder Qualifications: Welding processes and welding operators qualified in accordance with AWS D1.4/D1.4M and dated no more than 12 months before start of scheduled welding work.

1.08 Mock-Ups

- A. Test each type of maintenance procedure required on each type of existing construction, to determine the most appropriate procedures to use and as a record of expected results.
- B. Crack Injection: Prepare one sample of each type of injection.
- C. Horizontal Surface Repair: Total of 10 foot square area, demonstrating each type of repair.
- D. Vertical Surface Repair: Total of 10 foot square area, demonstrating each type of repair.
- E. Where color or texture matching is required, first prepare a small size sample on cementitious board.
- F. Locate mock-up(s) where directed.
- G. Re-work mock-up(s) until satisfactory to Architect.
- H. Re-work mock-up(s) until satisfactory to Owner.
- I. Satisfactory mock-up(s) may remain as part of the work.

1.09 Delivery, Storage, and Handling

- A. Comply with manufacturers' instructions for storage, shelf life limitations, and handling of products.

- B. Deliver polymer resin materials in original factory-sealed containers with manufacturer's labels intact and legible. Verify product nomenclature, manufacturer's name, product identification, batch number, date of manufacture, and shelf life or expiration date. Do not use polymer resin materials that have exceeded shelf life.
- C. Store materials in covered, well-ventilated area and according to manufacturer's written storage instructions. Store polymer resins and hardeners separate from construction materials that can absorb odors.

PART 2 PRODUCTS

2.01 Cleaning Materials

- A. Degreaser:
 - 1. Manufacturers:
 - a. Euclid Chemical Company; Euco Clean and Strip: www.euclidchemical.com/#sle.
 - b. LATICRETE International, Inc; CITREX: www.laticrete.com/#sle.
 - c. W. R. Meadows, Inc; www.wrmeadows.com/#sle.
 - d. Substitutions: See Section 01 60 00 - Product Requirements.
- B. Detergent: Non-ionic detergent.
- C. Alkaline Cleaning Agent: *Alkaline concrete cleaner*.
- D. Acidic Cleaning Agent:
 - 1. Manufacturers:
 - a. United Gilsonite Laboratories; DRYLOK® Concrete and Masonry Etch and Cleaner: www.ugl.com/#sle.
 - b. Substitutions: See Section 01 60 00 - Product Requirements.
- E. Blasting Medium: _____.

2.02 Cementitious Patching and Repair Materials

- A. Manufacturers:
 - 1. ARDEX Engineered Cements: www.ardexamericas.com/#sle.
 - 2. Dayton Superior Corporation: www.daytonsuperior.com/#sle.
 - 3. LATICRETE International, Inc: www.laticrete.com/#sle.
 - 4. Mapei Corporation: www.mapei.com/#sle.
 - 5. W. R. Meadows, Inc: www.wrmeadows.com/#sle.
 - 6. Substitutions: See Section 01 60 00 - Product Requirements.
- B. Bonding Slurry: Water-based latex admixture; comply with ASTM C1059/C1059M, combined with Portland cement and sand in accordance with admixture manufacturer's instructions.
 - 1. Admixture Manufacturers:
 - a. Dayton Superior Corporation: www.daytonsuperior.com/#sle.
 - b. Mapei Corporation: www.mapei.com/#sle.
 - c. W. R. Meadows, Inc: www.wrmeadows.com/#sle.
 - d. Substitutions: See Section 01 60 00 - Product Requirements.
- C. Cementitious Resurfacing Mortar: One- or two-component, factory-mixed, polymer-modified cementitious mortar designed for continuous thin-coat application.
 - 1. In-place material resistant to freezing conditions.

2. Mixed with water or latex type bonding agent in proportions as recommended by manufacturer.
3. Integral corrosion inhibitor.
4. Recommended Thickness: Feather edge to 1/8 inch.
5. Color: Gray.

D. Cementitious Repair Mortar, Trowel Grade: One- or two-component, factory-mixed, polymer-modified cementitious mortar.

1. In-place material resistant to freezing conditions.
2. Mixed with water or latex type bonding agent in proportions as recommended by manufacturer.
3. Dry Material: Complies with ASTM C928/C928M.
4. Integral corrosion inhibitor.
5. Manufacturers:
 - a. KOSTER American Corporation: www.kosterusa.com/#sle.
 - b. LATICRETE International, Inc: www.laticrete.com/#sle.
 - c. Mapei Corporation: www.mapei.com/#sle.
 - d. Mapei Corporation: www.mapei.com/#sle.
 - e. W. R. Meadows, Inc: www.wrmeadows.com/#sle.

E. Cementitious Repair Mortar, Form and Pour/Pump Grade: Flowable, one- or two-component, factory-mixed, polymer-modified cementitious mortar; in-place material resistant to freezing conditions.

1. Mixed with water in proportions as recommended by manufacturer.
2. Integral corrosion inhibitor.

F. Cementitious Pavement Repair Mortar: Fast hardening, flowable; composed of cement, sand, and additives; capable of setting in cold weather conditions without the aid of chloride- or gypsum-based accelerators; in-place material resistant to freezing conditions.

1. Dry Material: Complies with ASTM C928/C928M.
2. Integral corrosion inhibitor.
3. Time to Top-Coating: 4 hours, maximum.

G. Cementitious Hydraulic Waterstop: Very fast setting, low slump, hand formable, and capable of stopping active water leaks; in-place material resistant to freezing conditions.

1. Manufacturers:

H. Exterior Self-Leveling Concrete Topping: Portland cement-based; suitable as wear surface topping in exterior and wet locations as well as underlayment for applied materials.

1. Compressive Strength: 4,300 psi, minimum, at 28 days, when tested in accordance with ASTM C109/C109M, air cured.
2. Flexural Strength: 1,000 psi, minimum, at 28 days, when tested in accordance with ASTM C348.

I. Exterior Self-Leveling Concrete Floor Topping:

1. Compressive Strength: 7,000 psi, minimum, at 28 days, when tested in accordance with ASTM C1708/C1708M.

J. Pre-Blended Concrete Mix for Small Projects: Construction-grade Portland cement uniformly blended with aggregates and other approved concrete ingredients, requiring only the addition of water.

1. Compressive Strength: 4,000 psi, minimum, at 28 days, when tested in accordance with ASTM C39/C39M.

2.03 Epoxy Patching and Repair Materials

- A. Manufacturers:
 - 1. Dayton Superior Corporation: www.daytonsuperior.com/#sle.
 - 2. Mapei Corporation: www.mapei.com/#sle.
 - 3. Sto Corp: www.stocorp.com/#sle.
 - 4. W. R. Meadows, Inc: www.wrmeadows.com/#sle.
 - 5. Substitutions: See Section 01 60 00 - Product Requirements.
- B. Epoxy Repair Mortar: Epoxy resin mixed with aggregate and other materials in accordance with manufacturer's instructions for purpose intended; comply with pot life and workability limits.
 - 1. Manufacturers:
 - a. ARDEX Engineered Cements; **ARDEX BACA**: www.ardexamericas.com/#sle.
 - b. Mapei Corporation: www.mapei.com/#sle.
 - c. W. R. Meadows, Inc: www.wrmeadows.com/#sle.
- C. Epoxy Injection Adhesive:
 - 1. Manufacturers:
 - a. Dayton Superior Corporation: www.daytonsuperior.com/#sle.
 - b. Mapei Corporation: www.mapei.com/#sle.
 - c. W. R. Meadows, Inc: www.wrmeadows.com/#sle.
 - d. Substitutions: See Section 01 60 00 - Product Requirements.
- D. Epoxy Bonding Adhesive: Non-sag, two-component, 100 percent solids; recommended by manufacturer for purpose and conditions under which used.
 - 1. Non-Load-Bearing Applications: ASTM C881/C881M, Type I, II, III, IV, or V, whichever is appropriate to application.
 - 2. Load-Bearing Applications: ASTM C881/C881M, Type IV or V, whichever is appropriate to application.
 - 3. Other Applications: ASTM C881/C881M, Type as appropriate to application.
- E. Epoxy Grout: Two-component, 100 percent solids; recommended by manufacturer for purpose and conditions under which used.
 - 1. Non-Load-Bearing Applications: ASTM C881/C881M, Type I, II, III, IV, or V, whichever is appropriate to application.
 - 2. Load-Bearing Applications: ASTM C881/C881M, Type IV or V, whichever is appropriate to application.
 - 3. Other Applications: ASTM C881/C881M, Type as appropriate to application.

2.04 Urethane Patching and Repair Materials

- A. Manufacturers:
 - 1. Adhesives Technology Corporation: www.atcepoxy.com/#sle.
 - 2. ARDEX Engineered Cements: www.ardexamericas.com/#sle.
 - 3. Dayton Superior Corporation: www.daytonsuperior.com/#sle.
 - 4. Euclid Chemical Company: www.euclidchemical.com/#sle.
 - 5. Substitutions: See Section 01 60 00 - Product Requirements.
- B. Polyurea-Modified Repair Gel: Rapid setting, two-component, 100 percent solids; use with or without aggregate to repair cracks and spalls in concrete surfaces.
 - 1. Manufacturers:
 - a. Adhesives Technology Corporation; CRACKBOND CSR: www.atcepoxy.com/#sle.
 - b. Substitutions: See Section 01 60 00 - Product Requirements.

- C. Polyurethane Repair Gel: Rapid setting, two-component; use with or without aggregate to repair cracks and spalls in concrete surfaces.
 - 1. Manufacturers:
 - a. ARDEX Engineered Cements; ARDEX ArdiFix: www.ardexamericas.com/#sle.
 - b. Dayton Superior Corporation: www.daytonsuperior.com/#sle.
 - c. Substitutions: See Section 01 60 00 - Product Requirements.
- D. Hybrid Urethane Patching Material: Rapid setting, two-component, 100 percent solids; for rapid joint repair and crack filling where no future slab movement is anticipated.
 - 1. Manufacturers:
 - a. Adhesives Technology Corporation; CRACKBOND CSR: www.atcepoxy.com/#sle.
 - b. Curecrete Distribution, Inc; CreteFill Spall Repair: www.curecrete.com/#sle.
 - c. LATICRETE International, Inc; SPARTACOTE FAST FIX: www.laticrete.com/#sle.
 - d. Substitutions: See Section 01 60 00 - Product Requirements.
- E. Self-Leveling Concrete Joint and Crack Filler: Rapid setting, two-component, 100 percent solids; rigid enough to support concrete edges under traffic; for rapid joint repair and crack filling.
 - 1. Polyurea polymer formulation.
 - 2. 100 percent polyurea formulation.
 - 3. 100 percent aliphatic polyurea formulation, UV stable.
- F. Polyurethane Waterstop: Hydrophobic or hydrophilic, single-component, flexible polyurethane designed to stop water infiltration into concrete structures.

2.05 ***Moisure control***

- A. ***One-coat Epoxy resin System For RH readings of up to 100%, fast setting solvent free, alkali resistant. Meets or exceeds ASTEM E96 - 0.06 perms and ASTM F3010-18***
 - 1. Manufacturers
 - a. ***ARDEX Engineered Cements; ARDEX MC Rapid Moisture Control System: www.ardexamericas.com/#sle.***
 - b. ***Substitutions: See Section 01 60 00-Product Requirements.***

2.06 Accessories

- A. Anchoring Adhesive: Self-leveling or non-sag as applicable.
 - 1. Self-Leveling Polyester-Based Products:
 - 2. Self-Leveling Epoxy Products:
 - a. Abatron; BestBond Crack Repair: www.abatron.com/#sle.
 - b. Euclid Chemical Company; DURAL FAST SET LV: www.euclidchemical.com/#sle.
 - c. Substitutions: See Section 01 60 00 - Product Requirements.
 - 3. Non-Sag Epoxy Products:
 - a. Adhesives Technology Corporation; ULTRABOND EPX-3CC: www.atcepoxy.com/#sle.
 - 4. Hybrid Epoxy-Resin-Base Products: Two-component, 100 percent solids, moisture-insensitive, high strength, high modulus, multipurpose liquid epoxy gel adhesive; comply with ASTM C881/C881M for Types I, II, IV, and V, Grade 3, Classes A, B, and C.
 - a. Adhesives Technology Corporation; ULTRABOND HYB-2CC: www.atcepoxy.com/#sle.
 - b. Substitutions: See Section 01 60 00 - Product Requirements.
- B. Portland Cement: ASTM C150/C150M, Type I, grey.

- C. Water: Clean and potable.
- D. Reinforcing Steel: ASTM A615/A615M Grade 40 (40,000 psi) billet-steel deformed bars, unfinished.
- E. Reinforcing Steel: Deformed bars, ASTM A996/A996M Grade 40 (280), Type A.
 - 1. Epoxy coated in accordance with ASTM A775/A775M.
- F. Cathodic Protection
 - 1. Metal Anodes: Sacrificial metal accessory connected to steel reinforcement to provide corrosion protection through galvanic reaction.
- G. Stirrup Steel: ASTM A1064/A1064M.

PART 3 EXECUTION

3.01 Examination

- A. Verify that surfaces are ready to receive work.
- B. Beginning of installation means acceptance of substrate.

3.02 Preparation

- A. Prepare concrete surfaces to be repaired according to ICRI 310.2R.
- B. Surface Preparation for CFRP Systems:
 - 1. Repair cracks according to CFRP manufacturer's written instructions.
 - 2. Cleaning: Remove loose and unsound materials. Remove contaminants that would inhibit bond, such as laitance, dust, dirt, oil, curing compound, existing paint or coatings, efflorescence, and other matter that could interfere with bond of CFRP system concrete surfaces.
 - 3. Concrete: Roughen surface according to CFRP manufacturer's written instructions.
 - 4. Apply CFRP system within 72 hours of surface preparation.

3.03 Cleaning Existing Concrete

- A. Provide enclosures, barricades, and other temporary construction as required to protect adjacent work from damage.
- B. Clean concrete surfaces of dirt or other contamination using the gentlest method that is effective.
 - 1. Try the gentlest method first, then, if not clean enough, use a less gentle method taking care to watch for impending damage.
 - 2. Clean out cracks and voids using same methods.
- C. The following are acceptable cleaning methods, in order from gentlest to less gentle:
 - 1. Water washing using low-pressure, maximum of 100 psi, and, if necessary, brushes with natural or synthetic bristles.
 - 2. Increasing the water washing pressure to maximum of 400 psi.
 - 3. Adding detergent to washing water; with final water rinse to remove residual detergent.
 - 4. Steam-generated low-pressure hot-water washing.
 - 5. Alkaline cleaning agent applied for the least amount of time that is effective, followed by slight acid rinse and water rinse.

6. Acidic cleaning agent applied for the least amount of time that is effective, followed by water rinse. Test acidic cleaning agents on mock-up surfaces prior to use.
7. Abrasive blasting: Use only abrasive media that have been proven not to damage concrete by testing on mock-up.

D. Do not use any of the following cleaning methods, unless otherwise indicated:

1. Brushes with wire bristles, grinding with abrasives, solvents, hydrochloric or muriatic acid, sodium hydroxide, caustic soda, or lye.
2. Soap or detergent that is not non-ionic.

3.04 Paint and Graffiti Removal

3.05 Concrete Structural Member Repair

- A. See drawings for specific areas to be repaired.
- B. Remove broken and soft concrete at least 1/4 inch deep.
- C. Mechanically cut away damaged portions of reinforcement.
- D. Remove corrosion from steel and clean mechanically.
- E. Blast clean remaining exposed reinforcement surfaces.
- F. Repair by welding new bar reinforcement to existing reinforcement using sleeve splices.
 1. Perform welding work in accordance with AWS D1.4/D1.4M.
 2. Make welded sleeve splices to achieve strength to exceed strength of new reinforcement.
- G. Follow repair product manufacturer's written installation instructions.
- H. Cover exposed steel reinforcement with epoxy mortar.
- I. Work epoxy mortar into broken surface and build up patch to match original.
- J. Feather edges of repairs flush to sound surface and trowel surface to match surrounding area.

3.06 Crack Repair Using Epoxy Adhesive Injection

- A. Repair exposed cracks.
- B. Follow epoxy adhesive manufacturer's written installation instructions.
- C. Provide temporary entry ports spaced to accomplish movement of fluids between ports; no deeper than the depth of the crack to be filled or port size diameter no greater than the thickness of the crack. Provide temporary seal at concrete surface to prevent leakage of adhesive.
- D. Inject adhesive into ports under pressure using equipment appropriate for particular application.
- E. Begin injection at lower entry port and continue until adhesive appears in adjacent entry port. Continue from port to port until entire crack is filled.
- F. Remove temporary seal and excess adhesive.
- G. Clean surfaces adjacent to repair and blend finish.

3.07 Concrete Surface Repair Using Cementitious Materials

- A. Clean concrete surfaces, cracks, and joints of dirt, laitance, corrosion, and other contamination using method(s) specified above and allow to dry.
- B. Follow bonding agent and repair mortar manufacturer's written installation instructions.
- C. Apply coating of bonding agent to entire concrete surface to be repaired.
- D. Fill voids with cementitious mortar flush with surface.
- E. Apply repair mortar by steel trowel to a minimum thickness of 1/4 inch over entire surface, terminating at a vertical change in plane on all sides.
- F. Trowel finish to match adjacent concrete surfaces.
- G. Damp cure for four days.

3.08 Concrete Repair Using CFRP Materials

- A. Wet Layup, Dry Layup, and Preimpregnated Systems:
 - 1. Install in accordance with manufacturer's written instructions.
 - 2. Apply saturating resin to full saturation of fibers according to manufacturer's written instructions.
 - 3. Remove air trapped between layers before resin sets.
 - 4. Place successive layers of saturating resin and fiber materials before complete cure of previous layer of resin.
 - 5. Handle sheet and fabric materials to maintain the fiber straightness and orientation. Remove and repair kinks, folds, or other forms of waviness.
- B. Precured Systems:
 - 1. Install in accordance with manufacturer's written instructions.
 - 2. Apply adhesives evenly where precured systems are to be placed.
 - 3. Apply adhesives according to CFRP manufacturer's written instructions.
 - 4. Remove air trapped between layers before adhesive sets.
- C. Carbon Fiber Stitches:
 - 1. Saw cut thin slit in concrete perpendicular to crack. Drill small diameter hole at each end.
 - 2. Fill cut with epoxy paste. Insert carbon fiber stitch into cut.
- D. Curing:
 - 1. Inspect the primer and CFRP resin to ensure proper cure according to manufacturer's written instructions.
 - 2. Do not modify resin chemistry in field.
- E. Surface Finish - Coating Application:
 - 1. Apply paints and coatings compatible with CFRP strengthening system prior to final resin cure for best results.
 - 2. After CFRP resin has cured, coatings may be applied after a light dust mechanical abrasion to remove the gloss from resin.
 - 3. Remove dust and residue from all surfaces by flushing with clean water before applying coating.
 - 4. Ensure all surfaces are dry before applying surface finish coating.
- F. Do not bridge over existing control joints.

3.09 Field Quality Control

- A. See Section 01 40 00 - Quality Requirements for additional requirements.
- B. An independent testing agency, as specified in Section 01 40 00, will perform field inspection and testing.
 - 1. Test concrete for calcium chloride content during the execution of the Work.
 - 2. Field Quality Control for CFRP:
 - a. Inspect installation and test for compliance with ICC-ES AC178.
 - b. Inspect for voids, bubbles, and delaminations by performing a visual and acoustic tap test of layered surface after 24 hours of initial resin saturant cure.
 - c. Test for material properties of CFRP in accordance with ASTM D3039/D3039M.
 - d. Coordination of Other Tests and Inspections: Provide access; accommodate tests and inspections by independent testing agency employed by Owner.
 - e. Nonconforming Work: Repair defective work after minimum cure time for CFRP laminates.

END OF SECTION 03 01 00

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CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-~~1225~~ 1849

BUILDING PERMIT

PERMIT # 5464

Control # 88-267
(512)

Work to be done NEW COMMERCIAL BUILDING

WORK to be done NEW COMMERCIAL BUILDING
 Site Address 6450 SOUTHCENTER BLVD Suite # Tenant ROYAL COACHMAN
 Building Use OFFICE Assessors Account # 000320-0011-00/0012-09
 Property Owner BRUCE SOLLY DEV CO. INC Phone # 251-5000
 Address 8009 S. 180TH SUITE 104, KENT, WA 98032 Zip 98032
 Contractor POE CONSTRUCTION #POECOI*2470Z Phone # 575-4283
 Address 3207 "C" STREET N.E. AURBURN, WA Zip 98002

FOR BUILDING PERMIT ONLY

FOR BUILDING PERMIT ONLY Approved for Issuance By: Robert J. Benedict Date: 11-3-88

Fees			
sq. ft. @		1st Fl.	\$
sq. ft. @		2nd Fl.	\$
sq. ft. @		other	\$
sq. ft. @		other	\$
Total Valuation of Construction			\$ 619,605
Bldg. Permit Fee	Receipt #	6210	\$ 2,398.00
Plan Check Fee	Receipt #	964	\$ 1,559.00
Demolition	Receipt #		\$
Surcharges	Receipt #	6210	\$ 18.50
Other	Receipt #		\$
Other	Receipt #		\$
TOTAL			\$ 3,975.50

Fire Protection: Sprinklers Detectors

Zoning *P-0* Type of Construction

Special Conditions

FOR SIGN PERMIT ONLY

Permanent Temporary

Single Face Double Face Wall Mounted Free Standing Other

Building face _____ Setbacks: Front _____ Side _____ Side _____ Rear _____

Square Footage of each sign face _____ Total square footage of sign _____

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR
ABANDONED FOR 120 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signed

DATE CONSTRUCTION NO. 100

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of the Business and Professions Code, and my license is in full force and effect.

Date

OWNER-BUILDER DECLARATION

OWNER-BUILDER DECLARATION

I, as owner of the property, or my employees, with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale.

I, as owner of the property, am exclusively contracting with licensed contractor's to construct the project.

Owner (signature) _____ Date 1/1/00



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-~~1849~~ 1849

BUILDING PERMIT

PERMIT # 54/c4

Control # 88-267
(512)

Work to be done NEW COMMERCIAL BUILDING

WORK to be done NEW COMMERCIAL BUILDING
 Site Address 6450 SOUTHCENTER BLVD Suite # Tenant ROYAL COACHMAN
 Building Use OFFICE Assessors Account # 000320-0011-00/0012-09
 Property Owner BRUCE SOLLY DEV CO. INC Phone #
 Address 8009 S. 180TH SUITE 104, KENT, WA 98032 Zip 98032
 Contractor POE CONSTRUCTION #POECOI*2470Z Phone # 575-4283
 Address 3207 "C" STREET N.E. AURBURN, WA Zip 98002

FOR BUILDING PERMIT ONLY Approved for Issuance By: Robert J. Benedict Date: 11-3-09

Fire Protection: Sprinklers Detectors

Zoning *P-Q* Type of Construction

Special Conditions

Fees			
sq. ft. @		1st Fl.	\$
sq. ft. @		2nd Fl.	\$
sq. ft. @		other	\$
sq. ft. @		other	\$
Total Valuation of Construction			\$ 619,605
Bldg. Permit Fee	Receipt # 6210	\$ 2,398.00	
Plan Check Fee	Receipt # 964	\$ 1,559.00	
Demolition	Receipt #	\$	
Surcharges	Receipt # 6210	\$ 18.50	
Other	Receipt #	\$	
Other	Receipt #	\$	
TOTAL			\$ 3,975.50

FOR SIGN PERMIT ONLY

Permanent Temporary

Single Face Double Face Wall Mounted Free Standing Other _____

Building face _____ Setbacks: Front _____ Side _____ Side _____ Rear _____

Square Footage of each sign face _____ Total square footage of sign _____

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION, OR THE PERFORMANCE OF CONSTRUCTION.

Stened

Gate

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of the Business and Professions Code, and my license is in full force and effect.
Contractor (signature) _____ Date _____

OWNER-BUILDER DECLARATION

I, as owner of the property, or my employees, with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale.

I, as owner of the property, am exclusively contracting with licensed contractor's to construct the project.

Owner (signature) _____ Date 7/1/80

Oct. 2

CD-89-048



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-1849

INSPECTION RECORD

PERMIT # 521641

Date 6/23/89

Date Wanted 6/23/89 a.m. p.m.

Project ROYAL COACHMEN

Phone #

Type of Inspection FINAL

Site Address 6150 5th BLVD.

Requestor _____

Special Instructions _____

Inspection Results/Comments: OK TO FINAL

Inspector Tom Larson

Date 6/23/89



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-1849

INSPECTION RECORD

PERMIT # 5464
Date 5/16/89

Type of Inspection Insulation
Site Address 6450 SC Blvd
Requestor Tim
Special Instructions _____

Date Wanted 5/16/89 a.m. (p.m.)
Project Royal Coachma
Phone # 242-6833

Inspection Results/Comments: INSULATION COMPLETE

Inspector Clayton Jernum Date 5/16/89



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-1849

INSPECTION RECORD

PERMIT # 5464

Date 5/10/89

Type of Inspection CEILING CRV'D

Date Wanted 5/11/89 a.m. p.m.

Site Address 104140 S/C BLVD

Project ROYAL CONCHITTA

Requestor _____

Phone # _____

Special Instructions _____

Inspection Results/Comments: CRV'D COMPLETE 5TH SECTION

Inspector Don Jernum

Date 5/11/89



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-1849

INSPECTION RECORD

PERMIT # 5464

Date 5-8-89

Type of Inspection Carling Grid Date Wanted Wed 5-10-89 a.m., p.m.
Site Address 6450 Southcenter Blvd Project Royal Coachman
Requestor Jin - Por Const Phone # 242 6833
Special Instructions _____

Inspection Results/Comments: NOT READY - HVAC DUCTS &
DEFUSERS NOT COMPLETE
GENERAL WILL CALL AGAIN

Inspector Tom Jernum

Date 5/10/89



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-1849

INSPECTION RECORD

PERMIT # 5464

Date 5/5/89

Type of Inspection Seismic Ceiling Date Wanted 5/5/89 a.m. p.m.
Site Address 6450 SC Blvd. Project Royal Coachman
Requestor Jim Poe Const Phone # 242-6833
Special Instructions _____

Inspection Results/Comments: MURTH 1/2 OK TO COVER

Inspector Ron Pearson

Date 5/5/89



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-1849

INSPECTION RECORD 5-21-89

PERMIT # 5464 52197

Date 5/2/89

Type of Inspection Wallboard/Seismic Date Wanted 5/3/89 a.m. p.m.
Site Address 6450 SC Blvd Project Royal Coachman
Requestor Jim Poe Const. Phone # 242-6833
Special Instructions _____

Inspection Results/Comments: SIEP CORRECTION NOTICE

Inspector Tom Jernum Date 5/3/89

Royal Coachman
Jim (job super) will
provide us a letter signed
by him certifying that the
wallboard was fastened per
code.

Mech permit will be
issued either today or
tomorrow & they will be
double feed.



CITY OF TUKWILA

Building Division
6200 Southcenter Blvd.
Tukwila, WA 98188
433-1845

Permit No. 54164 Date 5/3/89 Job Address 6450 36 132 NW

CORRECTION NOTICE

The following items are found to be in violation of Ordinance _____ and shall be corrected.

1. WALLBOARD THICKNESS PRIOR TO INSPECTION

2. CEILING. THIS NOT READY FOR INSPECTION

3. MECHANICAL WORK DONE WITHOUT A PERMIT.

CONTACT THE BUILDING OFFICIAL, DAVE
GRIFFIN IN REFERENCE TO ITEMS #1 & #3

Signed

Tom Johnson

Building Official/Inspector

POE Construction, Inc.

3207 "C" STREET N.E., AUBURN, WASHINGTON 98002 • (206) 833-2400 • 575-4283 • FAX: 939-4805

May 3, 1989

City of Tukwila
Building Department
6200 Southcenter Blvd.
Tukwila, WA 98188

Attn: Duane Griffin

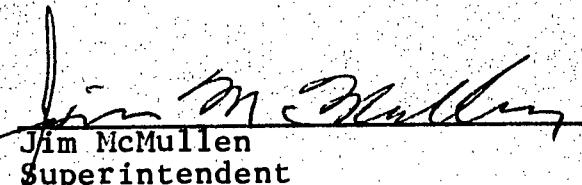
Re: Royal Coachman

Gentlemen:

This is to certify that the 5/8" sheetrock applied to walls under City of Tukwilla Building Permit #5464, is screwed to metal studs with standard 1-1/8" sheetrock screws at 8" O.C. at the butt joint and 12" O.C. at studs in the field $\pm \frac{1}{2}$ " as is standard drywall practice.

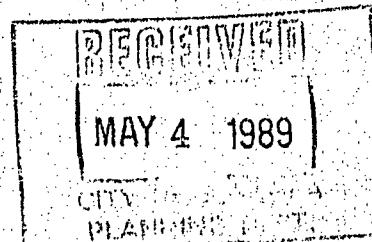
Poe Construction guarantees this application and will uncover any part at the request of a Tukwila Building Official for visual inspection.

Sincerely,


Jim McMullen
Superintendent

JM:cr

A.11/92





CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-1849

CHH

INSPECTION RECORD

PERMIT # 521641

Date 4/17/89

Type of Inspection ? Date Wanted 4/28/89 a.m. p.m.
Site Address 6450 S/C BLVD Project ROYAL CONCERN
Requestor Jim Phone # 2441-6833
Special Instructions

Inspection Results/Comments: HAD QUESTIONS ON FIRE LOAD 17/11/89
DIRECTED HIM TO THE FIRE DEPARTMENT.

Inspector Tom jeans

Date 4/28/89



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-1849

Type of Inspection Framing
Site Address 6450 Southcenter Blvd
Requestor in Pos Const
Special Instructions

INSPECTION RECORD

PERMIT # 5464

Date 4-13-89 today, if possible

Date Wanted a.m. p.m.

Project Royal Coachman

Phone # 242-6833

Inspection Results/Comments: FYRAMING & FOAM WALL INSUL.
OK TO COVER

Inspector Tom Jernum

Date 4/13/89



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-1849

INSPECTION RECORD

PERMIT # 5464

Date 2/27/89

Type of Inspection Roof sheathing Date Wanted 2/28/89 a.m. p.m.
Site Address 6450 Southcenter Blvd. Project Royal Coachman
Requestor _____
Phone # _____
Special Instructions _____

Inspection Results/Comments: Roof nailing per plans and code OK to cover.
(See attached Engineers report).

Signed off Footing, Foundation, rebar. Grouching and roof
nailing.

Inspector Norm Bray Date 2/28/89

FROM: RICHARD HUDSON & ASSOCIATES

2.24.1989 14:41

P. 1

RICHARD HUDSON & ASSOCIATES, INC.
CONSULTING ENGINEERS
1605 12TH AVENUE • SUITE 18
SEATTLE, WASHINGTON 98122
206-324-6160
Fax# 324-6248

Fax Memorandum/Transmittal

Date: FEB, 29, 1989

Re: Royal Coachman

To: DARYL (For Jim)
Poe Const

Fax#: 1-939-4805

of Pages: 2

(including this one)

FIELD OBSERVATION REPORT FOR ROOF
NAILING.

Signed: Chuck Morris

cc: 1. File

2.

END

FROM: HUDSON & ASSOCIATES

2.24.1989 14:37

P. 1

RICHARD HUDSON & ASSOCIATES, INC.

Consulting Engineers
1605 12th Avenue Suite 18
SEATTLE, WASHINGTON 98122

(206) 324-6160

DAVID KEHLE, ARCH.

12878 INTERURBAN AVE So.
SEATTLE, WA. 98168

FEB, 20, 1989

ROYAL COACHMAN BLDG.

SEATTLE, WA.

Poe Const. SALLY DEVEL.
8:30

CLOUDY, RAIN 45

Jim- SUPER FOR Poe Const.

I OBSERVED THE NAILING OF THE ROOF DIAPHRAGM
AND FOUND IT IN GENERAL COMPLIANCE WITH THE CONTRACT
DOCUMENTS. THE FEW ~~MISSING~~ SHEETS OF PLYWOOD NOT NAILED
CORRECTLY WHERE POINTED OUT AND WERE NAILED CORRECTLY.
ALL OTHER WORK OBSERVED APPARED TO BE IN COMPLIANCE
WITH THE CONTRACT DOCUMENTS.

Jim @ Poe Construction.

Chuck Morris



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-1849

INSPECTION RECORD

PERMIT # 54641

Date 2-23-89

Type of Inspection Grouting / Roof Nailing Date Wanted Friday 24-89 a.m. (p.m.)
Site Address 6150 Southcenter Blvd Project Royal Coachman
Requestor Jim Bos Cont Phone # 242-6833
Special Instructions _____

Inspection Results/Comments: Grouting done yesterday.
Roof nailing. Remove shimmers and obtain an inspection of
the roof diaphragm by Eng. as required on approved plans.
Call for reinspection.

Inspector Norm Bray Date 2/24/89



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-1849

OUIEV

BB

INSPECTION RECORD

PERMIT # 541641

Date 1-27-89

Date Wanted 1-27-89 a.m. p.m.

Project ROYAL CONCRETE

Phone #

Type of Inspection POUR

Site Address 6457 51/2 BLVD.

Requestor

Special Instructions STOPPED AT 9:00 WILL COME BACK TO
CHECK TIME LIMITS ON THE CONCRETE

Inspection Results/Comments: I FOUND THEM POURING PAVING &
THERE WAS NO SPECIAL INSPECTOR ON SITE. THERE WAS
NO CALL FOR INSPECTION. JOB SUPER STATED THAT
A SPEC. INSP. HAD BEEN THERE BUT HE WENT TO REBURN
ON ANOTHER JOB. ADVISED SUPER TO HOLD UP POUR
UNTIL SPEC. INSP. WAS ON SITE.

IT APPEARS CONSTRUCTION MATERIALS TESTING LABS.
INC. IS IN THE HABIT OF TAKING ON JOBS WHEN
THEY DON'T HAVE ENOUGH MEN TO COVER THE WORK.

Inspector TOM JANGEN

Date 1-27-89

CONSTR. MATERIALS TESTING LABS. INC.
4417 - PACIFIC HWY E.
FIFE WA. 98424
(206) 922-0798

NATHAN ELLIOTT (INSR) ON SITE
10/93

I RETURNED APPROX 10:30 AND OBSERVED POUR
SO THEY COULD GET THE CONCRETE PLACED.
BUT IT WAS TO OLD.

I had discussions with Testing Lab, Architects office, & bldg owner rep. about this.
I was assured by each that this would not happen again. D. Griffin



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-1849

INSPECTION RECORD

PERMIT # 5464

Date 1-24-89 Thurs.

Date Wanted Want to pour 8:00 a.m.
d.m. p.m.

Type of Inspection Slab Concrete Panel

Site Address 6450 Southcenter Blvd

Requestor Jim Project Royal Coachman

Phone # 242-6833

Special Instructions _____

Inspection Results/Comments: Panels look good, some imbedment
steel not on site yet. Panels will be inspected
by a special inspector. They will pour Friday
morning.

Inspector Norm Bray Date 1/25/89



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-1849

INSPECTION RECORD

PERMIT # 5464

Date 1-17-89

Type of Inspection SLAB Date Wanted 1-17-89 a.m. p.m.

Site Address 6450 S/C BLVD.

Project Royal Coachman

Requestor _____

Phone # _____

Special Instructions _____

Inspection Results/Comments: SPCC. INSP. ON SITE

I ADVISED THEM TO CLEAN UP THE
SPILL AND THE DIRT IN THE SIDEWALK.

Inspector Tom Jern

Date 1-17-89



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-1849

[Handwritten signature]

INSPECTION RECORD

PERMIT # 5464

Date 12/29/88

Type of Inspection Slab

Date Wanted 12/30/88 ? a.m. p.m.

Site Address 6450 Sl Bl

Project Royal Coachman

Requestor Jim

Phone # 242-10833

Special Instructions pour at 8:00 am

Inspection Results/Comments: Slab pour canceled until
Tuesday

Inspector Norm Gray

Date 12/30/88



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-1849

INSPECTION RECORD

PERMIT # 5464

Date 12-1 -88

Type of Inspection

Foundation Pour

Date Wanted Mon 12-19-88 a.m. p.m.

Site Address

6450

Southcenter Blvd

Project Royal Coachman

Requestor

Jim

Phone # 242 6833

Special Instructions

Inspection Results/Comments: *Pouring footings. Special inspector on site. No problems.*

Inspector

Norm Bray

Date 12/19/88



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98108
(206) 433-1849

(Signature)

INSPECTION RECORD

PERMIT # 5464
Date 12/13/88

Type of Inspection Footings Date Wanted 12/16/88 a.m. p.m.
Site Address 6450 Southcenter Bl Project Royal Coachman
Requestor Jim Phone # 242-0833
Special Instructions Down at noon

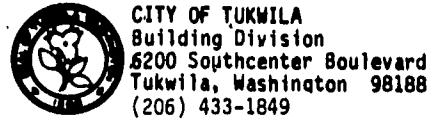
Inspection Results/Comments: 8:30 NOT READY

11:30 T. FISHER OF CONST. MATERIALS TESTING
LIAISON ON SITE FOR PARTIAL FOOTING POUR

INSPECTION REPORTS FROM RETAINING WALL
NOW ON SITE.

Inspector Tom Green

Date 12-16-88



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-1849

INSPECTION RECORD

PERMIT # 521641

Date 12-15-88

Type of Inspection CONCRETE / CURING

Date Wanted 12-15-88 a.m. p.m.

Site Address 64150 S/C BLVD

Project ROYAL CONCRETE

Requestor D. Grimes

Phone #

Special Instructions ADVISE JOB SUPER AS TO CURING REQUIREMENTS

Inspection Results/Comments: TALKED WITH JOB SUPERINTENDENT ABOUT CONCRETE CURING IN COLD WEATHER.
SPEC. INSPI. REPORTS STILL NOT ON SITE / HE WILL HAVE THEM TODAY SOMETIME.

Inspector TOM JENSEN

Date 12-15-88



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-1849

INSPECTION RECORD

PERMIT # 5464

Date 12-12-88

Type of Inspection Concrete Pouring at 12:30 pm Date Wanted Tues. 12:30 pm a.m. p.m.
Site Address 6150 Southcenter Blvd Project Royal Coachman
Requestor Jim Pos. Permit Phone # 242-6833
Special Instructions

Inspection Results/Comments: Special inspector on site. OK to pour north retaining wall.

Inspector Norm Gray Date 12/13/88



CITY OF TUKWILA
Building Division
6200 Southcenter Boulevard
Tukwila, Washington 98188
(206) 433-1849

INSPECTION RECORD

PERMIT # 5464
Date 12/6/88

Type of Inspection Footing - Retain Wall Date Wanted 12/7/88 a.m. p.m.
Site Address 6450 Southcenter Bl
Requestor Jim McMullen Project Royal Coachman
Special Instructions Phone # 242-0833

Inspection Results/Comments: Footing North side of site Retaining wall
OK to pour. Special inspection required.

Inspector Norm Bress Date 12/7/88



CITY OF TUKWILA
Central Permit System

Control No. 88-267 ✓
Permit No. 5464

FINAL APPROVAL FORM

TO: Building Public Works Police
 Planning Fire Dept. Parks/ Recreation

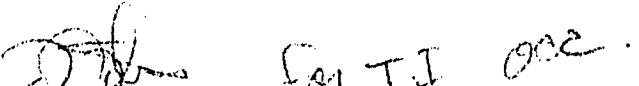
Project Name Royal Coachman
Address 6450 Southcenter Bl.
Type of Permit(s) T.I.

This project is nearing completion. Please investigate your area of responsibility and indicate below either your final approval or necessary corrections.

If no response is received within one week, it will be assumed that the project is of no concern to your department and a certificate of occupancy may be issued.

This project is NOT approved by this department; the following corrections are necessary:

(① Mark fire lanes)
(② Blvd Address #'s
(③ Minim. Sprinkler system of offices
(④ Occupancy vented 1-3 are
(⑤ Unplated


Authorized Signature

5-25-89
Date

This project is approved by this department:


Authorized Signature

5-25-89
Date

THE FOLLOWING COMMENTS APPLY TO AND BECOME PART OF THE APPROVED PLANS UNDER TUKWILA BUILDING PERMIT NUMBER 5464.

1. No changes will be made to plans unless approved by Architect and Tukwila Building Department.
2. Plumbing permit to be obtained through King County Health Department and plumbing will be inspected by that agency (including all gas piping).
3. Electrical work to be inspected by State Electrical Inspectors and all required electrical permits obtained through that agency.
4. All mechanical work to be under separate permit.
5. All permits to be posted at job site prior to start of any construction.
6. When Special Inspection is required either the owner, architect or engineer shall notify the Tukwila Building Department of appointment of the inspection agencies prior to the first building inspection. Copies of all special inspection reports shall be submitted to the Building Department in a timely manner. Reports shall contain address and permit number of the project being inspected.
7. All structural concrete to be special inspected. (Sec. 306, UBC)
8. All structural welding to be done by W.A.B.O. certified welder and special inspected. (Sec. 306, UBC)
9. Any new ceiling grid and light fixture installation to meet lateral bracing requirements for Seismic Zone 3.
10. Partition walls attached to ceiling grid must be laterally braced if over eight (8) feet in length.
11. Any exposed insulation backing material to have Flame Spread Rating of 25 or less.
12. Subgrade preparation including drainage, excavation, compaction, and fill requirements shall conform strictly with recommendations given in the soils report or as directed by the soils engineer. Existing rockery and proposed slopes and retaining walls shall be approved by soils engineer prior to construction.
13. Statement from roofing contractor verifying fire retardancy of roof will be required prior to final (see attached letter).
14. All construction to be done in conformance with approved plans and requirements of the Uniform Building Code (1985 Edition), Uniform Mechanical Code (1985 Edition), Washington State Energy Code (1986 Edition), and Washington State Regulations for Barrier Free Facility (1986 Edition).
15. All purlin stress grades noted on plans shall be identified by grade mark stamped on each member as called for in general structural notes.
16. Toilet rooms shall comply with all requirements of chapter 5, Washington State Council regulations for barrier-free facilities.

17. Toilet rooms shall have a smooth, hard non-absorbent surface which extends upward onto walls at least 5-inches. Walls within water closet compartments and walls within 2-feet of the front and sides of urinals shall be similarly finished to a height of 4-feet.
18. General contractor shall be responsible for location of all foundations.
19. Any overlooked hazardous condition and/or violation of the adopted building code does not imply approval of such condition or violation.



City of Tukwila

FIRE DEPARTMENT
444 Andover Park East
Tukwila, Washington 98188-7661
(206) 575-4404

Gary L. VanDusen, Mayor

September 15, 1988

Fire Department Review
Control Number 88-267

Re: Royal Coachman Office - 6450 Southcenter Blvd.,
Tukwila, Wa.

Dear Sir:

The attached set of building plans have been reviewed by
The Fire Prevention Bureau and are acceptable with the
following concerns:

1. An automatic fire extinguishing (sprinkler) system is
required and shall be designed, installed and tested.
(City Ordinance #1141)

Hose stations are required. (Plans must be submitted
to the Fire Marshal for approval prior to
installation.) (City Ordinance #1141)

All sprinkler drawings shall be prepared by companies
licensed to perform this type of work. Drawings shall
first be approved by the Washington Surveying & Rating
Bureau, Factory Mutual Engineering or Industrial Risk
Insurers, then by the Tukwila Fire Department. No
sprinkler work shall commence without approved
drawings. (City Ordinance #1141 & NFPA 13, 1-9.1)
(UFC 10.307)

All new underground piping shall be tested
hydrostatically. Test pressure shall be not less than
200 psi for 2 hours. Maximum leakage allowed (with
joints in plain view) shall not exceed 2 quarts per
hour. The Fire Department shall witness all tests.
(NFPA 24, 8-9.3.2 & NFPA 24, 8-9.3.3) (UFC 10.301)

All underground piping shall be visually inspected by
the Tukwila Fire Department prior to any backfilling.
Pipe joints shall not be covered until after
completion of a successful hydrostatic test. (NFPA



City of Tukwila

FIRE DEPARTMENT
444 Andover Park East
Tukwila, Washington 98188-7661
(206) 575-4404

Gary L. VanDusen, Mayor

Page number 2

24, 8-9.3.4) (UFC 10.301)

Extend sprinkler coverage to include all canopies, entryways, foyers, etc. which are completely or partially constructed of combustible materials. (UFC 10.301)

All sprinkler systems with more than 100 heads shall be supervised by an approved central, proprietary or remote station service or a local alarm which will give an audible signal at a constantly attended location. Approved central stations are those listed by Underwriter's Laboratories, Inc. (UFC 10.309)

All fire alarm systems, fire hydrant systems, standpipe systems, sprinkler systems and other fire-protection systems shall meet the approval of the Fire Department as to installation and location. Plans and specifications shall be submitted to the Fire Department for review and approval prior to their construction. (UFC 10.301e)

2. All electrical work and equipment shall conform strictly to the standards of the National Electrical Code. (NFPA 70) (UFC 10.104)

All electrical wiring is to be inspected by the State Electrical Inspector, Washington State Department of Labor & Industries. (UGC 10.104)

3. Walls and ceilings of corridors serving an occupant load of 30 or more shall be not less than one-hour fire resistive construction. (UFC 3305g) (UFC 12.106a)

All interior wall covering materials shall be fire-resistive or shall be treated to be fire-resistive, so as to result in a flame-spread rating as required by UFC Appendix VI-C tables 42A and 42B. A certificate of the flame spread rating is required to be delivered to the Tukwila Fire Department. (UBC 4204) (UFC 10.401)



City of Tukwila

FIRE DEPARTMENT

444 Andover Park East
Tukwila, Washington 98188-7661
(206) 575-4404

Gary L. VanDusen, Mayor

Page number 3

Ceilings shall form continuous fire-resistive membranes to prevent the vertical and horizontal spread of fire and smoke. Please replace the missing ceiling tile(s). (UFC 10.401)

Your street address must be conspicuously posted on the building and shall be plainly visible and legible from the street. Numbers shall contrast with their background. (UFC 10.208)

4. Every building shall be accessible to Fire Department apparatus by way of access roadways with all-weather driving surface of not less than 20' wide and 13'6" vertical clearance. Access roads in excess of 150' shall be provided with an approved turn-around area. Access shall be within 150' of all portions of the building. (UFC 10.207 as amended)

Fire lane designation required per City Ordinance #1398 and Uniform Fire Code Section 10.207 as amended.

Every exterior portion of a building must be within 300' of a fire hydrant, measured around the perimeter of the building. (City Ordinance #729)

All hydrants and all surface access roads shall be installed and made serviceable prior to and during the time of construction (UFC 10.301)

5. The total number of fire extinguishers required for your establishment is calculated at one extinguisher for each 3000 sq. ft. of area. The extinguisher(s) should be of the "All Purpose" (2A, 10 B:C) dry chemical type. Travel distance to any fire extinguisher must be 75' or less. (NFPA 10, 3-1.1) (UFC 10.301b)

Extinguishers shall be installed on the hangers or in the brackets supplied, mounted in cabinets, or set on shelves (NFPA 10, 1-6.6), and shall be installed so that the top of the extinguisher is not more than 5



City of Tukwila

FIRE DEPARTMENT
444 Andover Park East
Tukwila, Washington 98188-7661
(206) 575-4404

Gary L. VanDusen, Mayor

Page number 4

ft. above the floor. (NFPA 10, 1-6.6) (UFC 10.301)

Extinguishers shall be located so as to be in plain view (if at all possible), or if not in plain view, they shall be identified with a sign stating, "Fire Extinguisher," with an arrow pointing to the unit. (NFPA 10, 1-6.3) (UFC 10.301)

6. Exit hardware and marking must meet the requirements of Uniform Fire Code Sections 12.104 & 12.114.

Exits shall be illuminated at any time the building is occupied. An emergency system shall automatically provide exit illumination upon failure of the main power supply. (UFC 12.113a)

No obstruction or storage shall be placed in the required width of an exit except for projections permitted by the Building Code. (UFC 12.103a)

7. This review limited to speculative tenant space only - special fire permits may be necessary depending on detailed description of intended use.

8. Key box - When access to or within a structure or an area is unduly difficult because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the Chief may require a key box to be installed in an accessible location. The key box shall be a type approved by the Chief and shall contain keys to gain necessary access as required by the Chief. (UFC 10.209)

Mahan&DeSalvo

CONSULTING ENGINEERS

1411 Fourth Avenue Bldg.
Seattle, Washington 98101
(206) 624-8150
(206) 624-4488

October 27, 1988



Duane Griffin
City of Tukwila
6200 Southcenter Blvd
Tukwila, Washington 98188

Regarding: 88-T-12 (Royal Coachman)

Dear Mr. Griffin,

We have received additional information on the proposed project and have reviewed it for compliance with Chapters 23 through 29 of the 1985 Edition of the Uniform Building Code. We have no additional comments.

Sincerely,

Bridget Smith

Bridget Smith

Enclosure: Drawings, Calculations & Soils Report

cc: David Kehle
12878 Interurban Avenue South
Tukwila, Washington 98168

Mahan&DeSalvo

CONSULTING ENGINEERS

1411 Fourth Avenue Bldg.
Seattle, Washington 98101
(206) 624-8150
(206) 624-4488

October 14, 1988



Duane Griffin
City of Tukwila
6200 Southcenter Blvd
Tukwila, Washington 98188

Regarding: 88-T-12 (Royal Coachman)

Dear Mr. Griffin,

We have received plans and calculations for the proposed project and have reviewed them for compliance with Chapters 23 through 29 of the 1985 Edition of the Uniform Building Code. Please have the applicant respond to the following comments in an itemized letter form and resubmit 2 copies of revised drawings and one copy of revised calculations as required.

Structural

1. Provide copies of all drawings with changes or additions. This will include and is not limited to S2 & S4, according to the response letter.
2. E70 electrodes are inadequate for welding grade 60 reinforcing. Include correct electrodes in the Structural Notes for welding Grade 60 reinforcing.
3. It appears that the stress, caused by beam loads being applied eccentrically to the panel center line, have not been considered. Provide calculations to show adequacy and revise drawings if required.
4. Provide the mechanical screen information on the drawings. Show adequate connections to the roof structure.
5. It is adequate to call out minimum weld size in the structural notes. It is necessary, however, to show the weld symbol on the sections and details.

Please call if you have any questions.

Sincerely,

Bridget Smith

cc: David Kehle

TELEPHONE MEMO

RE: Coachman Bldg Permit Review

PERSON CONTACTED: Alan Byloma, Kehle Arch.

PERSON CALLING: Vernon Clinton

DATE: 10/11/88

INFORMATION ITEMS:

1) Informed AB that revised site plan of 10/10/88 should be further modified as follows:

a) First parking space from Southcenter Blvd. access to be converted to landscaping.

b) A truck loading & non-overlapping dumpster area to be developed.

c) North retaining walls to be board formed to ~~to~~ ~~clay~~ provide texture

d) 65th Ave. access to have radius curve returns

e) Landscape plan to be stamped & reflect BAR conditions.

2) AB said he would review BAR conditions.

RECEIVED REVISIONS 10/12/88.

Mahan&DeSalvo
CONSULTING ENGINEERS

1411 Fourth Avenue Bldg.
Seattle, Washington 98101
(206) 624-8150
(206) 624-4488

September 30, 1988



Duane Griffin
City of Tukwila
6200 Southcenter Blvd.
Tukwila, Washington 98188

5464
OCT 3 1988

Regarding: 88-T-12 (Royal Coachman)

Dear Mr. Griffin,

We have received plans and calculations on the proposed project and have reviewed them for compliance with Chapters 23 through 29 of the 1985 Edition of the Uniform Building Code. Please have the applicant respond to the following comments in itemized letter form and resubmit two copies of revised drawings and one copy of revised calculations as required.

Structural

1. The architectural plans show mechanical equipment and a 3' screen. Show that these loads have been accounted for and show adequacy of screen.
2. Provide calculations for 5-1/8 x 22-1/2 GLB at Grid 11. Span called out in calculations is incorrect.
3. Locate chord reinforcing in the panel elevations and relate this dimension to the roof diaphragm. Is chord steel called out in panel 1 typical?
4. Is it intended to have only one "B" connection between panels?
5. Explain why some panels have double #5's at sides of openings and others have only a single #5 for openings of similar size.
6. Show adequacy of panels for beam loads.
7. Complete references to details on sheet S-6.
8. Complete reference in Section L-4.
9. Show adequacy of columns including torsion due to the shear elements. Refer to section K-4.
10. Show adequacy of connections shown in section D-4 for lateral and axial loads.
11. Call out welds in section B-3, at 2 x 2 x 1/4 angle.

September 30, 1988

Duane Griffin
City of Tukwila
Re: 88-T-12
Page Two

12. If grade 60 reinforcing is to be welded, specify correct ASTM and electrodes. Correct structural notes.

Please call if you have any questions.

Sincerely,

Bridget Smith

Bridget Smith

cc: David Kehle
12878 Interurban Avenue South
Tukwila, Washington 98168



Mahan & DeSalvo

ORDINANCE COMPLIANCE - PLAN CHECK NOTES

Sheet 1 of 2
Date: 8-31-88

PROJECT: Royal Coachman Office Bldg. # 88-267
6450 Southcenter Blvd.

- 1. OCCUPANCY GROUP B-2, OFFICE BLDG. & PROPOSED ACC. RETAIL
- 2. TYPE OF CONSTRUCTION V-N (SPRINKLERED)
- 3. LOCATION ON PROPERTY PROPOSED MIN. YD. = 10'; PER TABLE 5A:
1-HR FR. REQD. $< 20'$; OPS. N.P. $< 5'$; PROTECTED $< 10'$... PROPOSED MIN.
YARD = 10' WALL = $7\frac{1}{4}$ " CONC. ∴ O.K. FOR 1-HR REQMT. - OPS. N.P. O.K.
- 4. BLDG. HT. / # OF STORIES 1-STORY, O.K. PER TABLE 5D (2 ALLOWED)
- 5. FLOOR AREA BASIC ALLOWABLE: 8000 ft²
PROPOSED 15K ft² INR. FOR SEP. 3 SIDES: $2.5 \times 10 \times 8000 = 20000$ ✓
AUTO SPRINKLER INC. 3X $10,000 \frac{ft^2}{ft^2} = 30K \frac{ft^2}{ft^2}$ ALLOWED.
- 6. OCCUPANT LOAD PROPOSED FLOOR AREA = 15,000 ft²
 $15,000/100 = 150$ OCCUPANTS FOR OPEN SHELL
AS PROPOSED. (NO DEMISING WALLS)

DETAILED REQUIREMENTS

- 7. OCCUPANCY NOTES ON SHEET 2
- 8. TYPE OF CONSTRUCTION N EXTERIOR WALL REQMTS O.K. PER TABLE 5
- 9. EXITING OCCUPANT LOAD > 30 ∴ TWO EXITS REQD FROM "SHELL" AREA
 $@ 220\frac{1}{2} = 110'$ APPART PROPOSED PLAN O.K. ALL $< 200'$
FROM EXIT DOOR ✓
- 10. CODE REGS. SEC. 705: REQUIRE RESOLVE OF T-RM ISSUE. PLANS
TO SHOW MENS & WOMENS T-RM. & INSTALLED PRIOR TO C.O.
- 11. ENGINEERING REGS. & REQMTS. STRUCTURAL REVIEW BY MAHAN & DESALVO
SENT TO MAHAN 9-7-88 - ADD NOTE TO DRAWINGS REGARDING LMBR. GRADE
- 12. COMPLIANCE W/ W.S.E.C. NOTE ON SHEET 2
- 13. COMPLIANCE W/ CHAPTER 51-10 W.A.C. BLDG = ACCESSIBLE AS PROPOSED
HANDICAPP BARRIER FREE REQMTS FOR T-RMS ARE REQD. NOTE ON PAGE 2

ORDINANCE COMPLIANCE - PLAN CHECK

Sheet 2 of 2
Date: 9-8-88

PROJECT: Royal Coachman - Office Bldg. # 88-267
6450 Southcenter Blvd.

The following corrections and/or clarifications are required to complete the plan review.

ALAN BULSMA 433-8997

1. Provide typical layout for Men's & Women's Toilet rooms. Each should meet barrier free requirements of chapter 51-10 W.A.C. - Minimum of two toilet rooms should be located on plan and be completed prior to final approval and C of O for building shell is issued.
2. Provide detail for proposed bracing of suspended ceiling system. (lateral) Per Seismic zone 3.
3. Provide Product information data and call out rigid insulation proposed for $R=11$ @ $1\frac{1}{2}$ " thick. Also supply Product data documenting Flame spread rating of 25 or less for Rigid insulation exposed above suspended ceiling line.

9-9-88

Called Alan Bulsma, asked that he respond to the three items above, Meanwhile I would route plans to other dept's.



City of Tukwila

6200 Southcenter Boulevard

Tukwila Washington 98188

(206) 433-1800

Gary L. VanDusen, Mayor

September 7, 1988

Mahan & Desolvo
1411 4th Ave. Building
Seattle, WA 98104

Attn: Bridgette Smith

Dear Bridgette:

Enclosed are the plans for the proposed office building located at 6450 Southcenter Boulevard known as Royal Coachman. Please review for structural only. Retaining walls will be under a separate permit and will require separate plan check.

If you should have any questions, please feel free to contact Duane or myself (433-1851).

Sincerely,

Becky L. Davis

Becky L. Davis
Permit Coordinator

Bob
please put in
file if you
have it



City of Tukwila

6200 Southcenter Boulevard

Tukwila Washington 98188

(206) 433-1800

Gary L. VanDusen, Mayor

MEMORANDUM

TO: Royal Coachman File 88-267
FROM: RLG
DATE: 9-6-88
SUBJECT: Listed

1. Called Alan Bylsma (DAVID KETTLE ARCHTS.) 433-8997
... Told Alan that we would be sending structural drawings to Mahan's office for review, also indicated that Public Works has reservations about proposed retaining wall - Since a revision to this retaining wall could affect the bldg. - Should we wait to receive these changes? - Will call back
2. Need Toilet Rm issue resolved prior to C.of.O.
Reqd: 1-W.C. & 1-lav. for each sex.
(Barrier free standards apply.)

Returned call to Alan. He spoke to Phil to get an understanding of his concerns, & feels that this can be resolved w/o changing bldg. - Send Street to Mahan... Toilet room issue still to be resolved... Told Alan that Sep Permit (10/T2.MEMO) would be reqd with retaining wall details...

BUILDING PERMIT APPLICATION

Control # 10107 88-267

Site Address 6450 Southcenter Blvd. Suite# 1 Floor# 1
 Project Name/Tenant Royal Coachman OFFICE Bldg. Parcel A 000320-0011-00
 Valuation of Construction \$419,605 Assessors Account# Parcel B 000320-0012-09
 Property Owner Bruce W. Sally Development Co. Inc. Phone
 Address 8009 S. 180th Suite 104, Kent, Wa. 98032 Zip
 Applicant David Kehle, Architect Phone 433-8997
 Address 12078 Interurban Ave. S., Seattle, Wa. Zip 98168
 Architect/Engineer Same as Applicant Phone
 Address Zip
 Contractor None Chosen Yet License# Phone
 Address Zip
 Class of Work: New Addition Tenant Improvement Remodel (residential) Reroof
 Demolition Interior Demolition Other
 Describe work to be done Construction of a new 1-story office bldg., B-2 occupancy, V-N sprinklered, concrete tilt-up construction
 Type of Const. (UBC) VN sprink. Occ. Group (UBC) B-2
 Square footage of entire building 14,700 Square footage of tenant space 0
 Building Use Office Will there be a change of use? Yes No
 If yes, describe change of use, including square footages of changed areas
 Will there be storage or use of flammable, combustible or hazardous materials on the premise or area of construction? Yes No If yes, explain

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT AND THAT I HAVE THE PROPERTY OWNER'S AUTHORIZATION TO DO THIS WORK.

Applicant/Authorized Agent (signature) Alan Bylsma Date 8/19/88
 (print name) Alan Bylsma
 Contact Person (please print) Alan Bylsma Phone 433-8997

OFFICE USE ONLY

FEES:	Building Permit Fee (000/322.100)	\$ <u>2398.00</u>	Receipt# <u>6210</u>	Date Paid <u>11-4-88</u>
Plan Check Fee (000/345.830)	<u>1559.00</u>	Receipt# <u>4964</u>	Date Paid <u>8/23/88</u>	
Bldg Code Sur Charge (000/386.904)	<u>3.50</u>	Receipt# <u>6210</u>	Date Paid <u>11-4-88</u>	
Energy Sur Charge* (000/386.907)	<u>15.00</u>	Receipt# <u>6210</u>	Date Paid <u>11-4-88</u>	
Other _____ ()		Receipt# _____	Date Paid _____	
*New construction only		TOTAL <u>3925.50</u> (OWES: \$ <u>2411.50</u>)		

SQUARE FOOTAGE/BUILDING USE INFORMATION

Square Footage of Entire Building:

FLOOR	USE/Occ	Type	SQ.FT.	OCC	LOAD	USE/Occ	Type	SQ.FT.	OCC	LOAD	TOTAL	TOTAL	
												SQ.FT.	OCC.
TOTAL													

TRACKING

DEPT.	DATE IN	DATE OUT	COMMENTS
BLDG	8-24-88	8-29-88	Approved for Issuance <u>KSB</u> Type of Const. _____
FIRE	9-9-88	9-13-88	To Mahan: Date Approved: <u>11-2-88</u> Approved (Initials) <u>DS</u> Per Letter dated <u>9-15-88</u> 572 Fire Protection: <input checked="" type="checkbox"/> Sprinklers <input type="checkbox"/> Detectors <u>5/2</u>
PLNG	9/16/88 Required revision Received 10/12/88	10/13/88	Approved (Initials) <u>DS</u> <input type="checkbox"/> BAR <input type="checkbox"/> LAND USE/SEPA CONDITIONS Zoning <u>P-0</u> Setbacks: N _____ S _____ E _____ W _____ Parking stalls required for: Site _____ Tenant Space _____ Parking stalls provided: Site _____ Tenant Space _____ ADDITIONAL PARKING STALLS REQUIRED: <u>0</u>
PWD	10/17	10/21/88	Approved (Initials) <u>DS</u> Per letter/plans dated <u>10/11/88</u> utility plans Routed to PWD 8-24-88

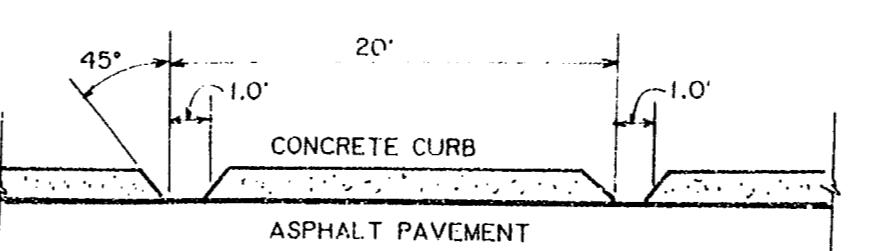
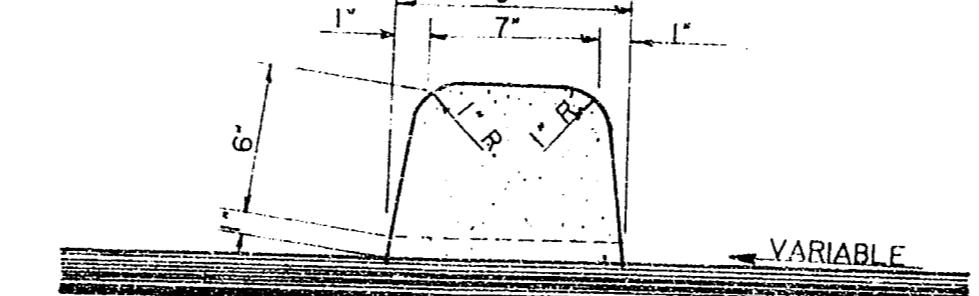
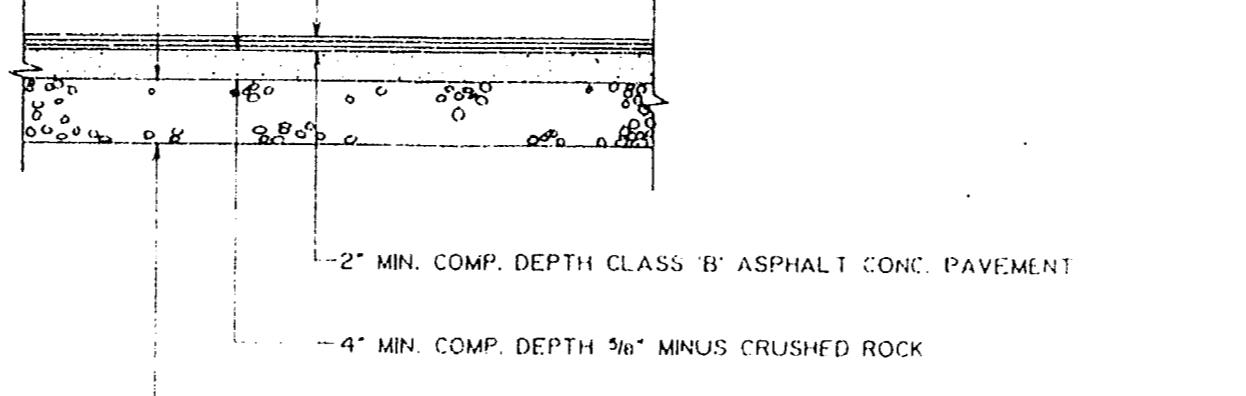
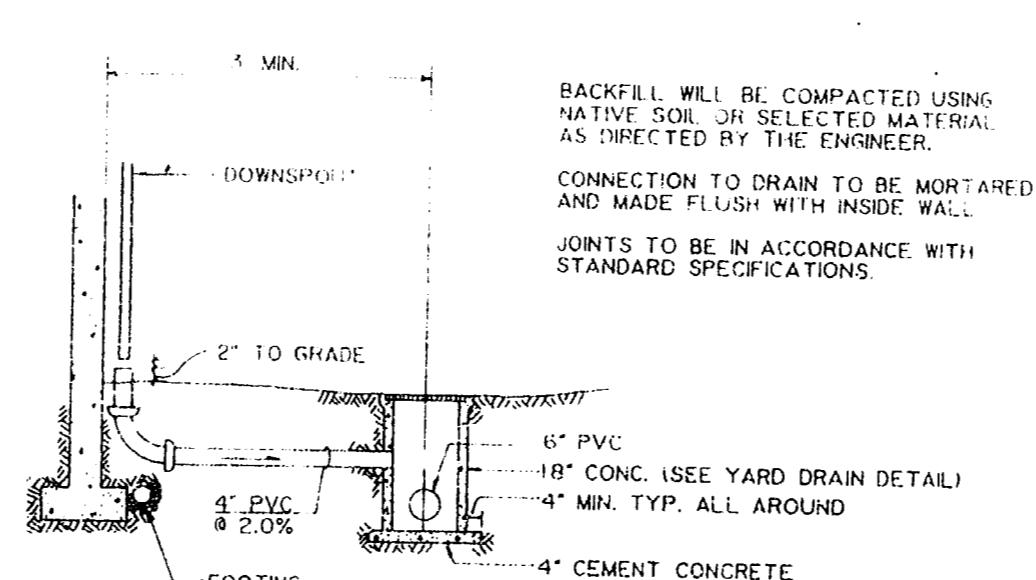
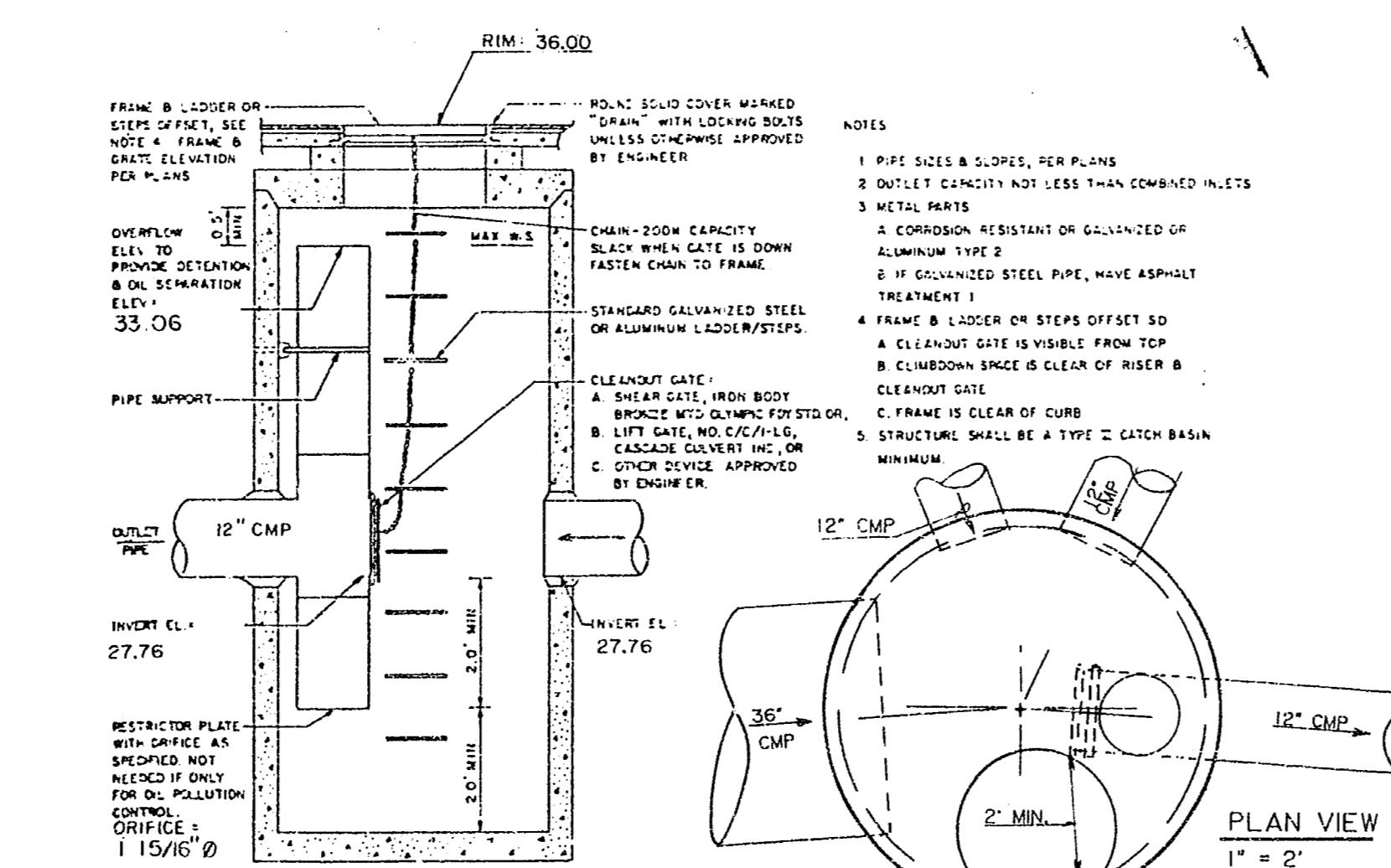
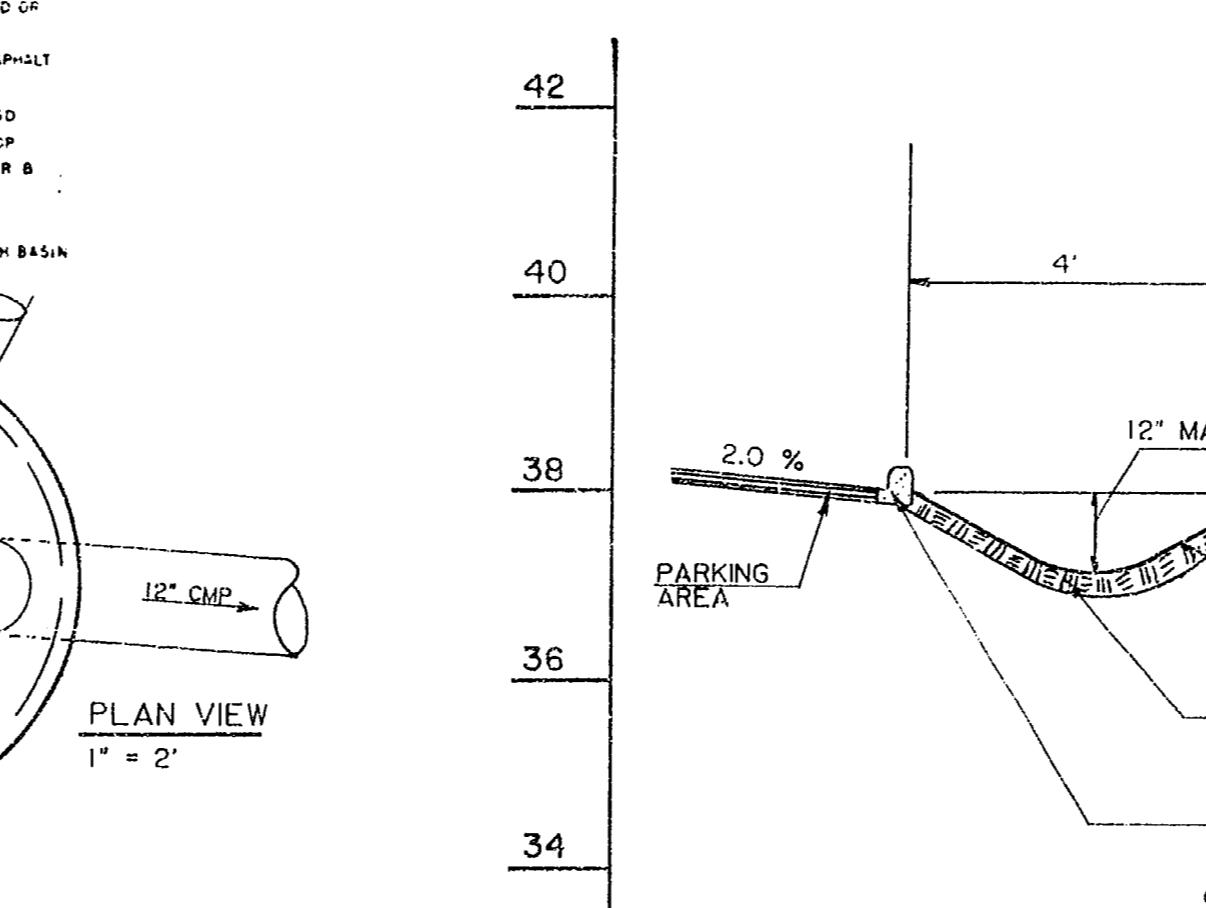
STORM DRAINAGE NOTES:	
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH "STANDARD SPECIFICATIONS FOR MUNICIPAL PUBLIC WORKS CONSTRUCTION" PREPARED BY WASHINGTON STATE CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION, 1981 EDITION (APWA) AND CITY OF TUKWILA STANDARDS AND SPECIFICATIONS.	
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION AND FOR THE SAFETY OF WORKERS AND OTHERS ON THE SITE.	
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT IN-PLACE ALL UTILITIES AND/OR STRUCTURES, WHETHER SHOWN OR NOT SHOWN ON THIS PLAN, DAMAGE DUE TO CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.	
4. PROVIDE AND MAINTAIN TEMPORARY FILTER FABRIC SILT FENCE TO INSURE SEDIMENT-LADEN WATER DOES NOT LEAVE THE PROJECT SITE. THE FACILITIES MUST BE REMOVED AND RELOCATED OR REMOVED AND RELOCATED OR MAINTAINED UNTIL CONSTRUCTION AND LANDSCAPING ARE COMPLETED AND POTENTIAL FOR ON-SITE EROSION HAS PASSED. AS CONSTRUCTION PROGRESSES AND EXPECTED (SEASONAL) CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED TO INSURE COMPLETE SILTATION CONTROL ON THE PROPOSED PROJECT. THEREFORE, DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE DEVELOPER TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES.	
5. ALL TYPE I CATCH BASINS SHALL BE PER APWA STANDARD PLAN NO. 52 WITH APWA TYPE 60A OUTLET TRAP AND APWA STANDARD PLAN NO. 49 FRAME AND GRATE.	
6. ALL REQUIRED STORMWATER RETENTION/DETENTION FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO PAVING AND BUILDING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE DEPARTMENT OF PUBLIC WORKS.	
7. THE BACKFILL SHALL BE PLACED EQUALLY ON BOTH SIDES OF THE PIPE IN LAYERS, WITH A LOOSE AVERAGE DEPTH OF SIX INCHES (6"), MAXIMUM EIGHT INCHES (8") THROUGH EIGHTEEN INCHES (18") AND COMPACTED LAYERS AS EXPLAINED FOR ONE PIPE DIAMETER ON EACH SIDE OF THE PIPE OR TO SIDE OF THE TRENCH. MATERIALS TO COMPLETE THE FILL OVER PIPE SHALL BE THE SAME AS EXCAVATED FROM THE TRENCH, EXCEPT THAT ORGANIC MATERIAL, FROZEN LUMPS, OR ROCKS OR PAVEMENT CHUNKS MORE THAN SIX INCHES (6") IN MAXIMUM DIMENSIONS, OR OTHER UNSUITABLE MATERIALS SHALL NOT BE USED.	
8. ALL STORM DRAIN PIPE SHALL BE CONCRETE RUBBER GASKETED ASTM C-14-2 OR ASTM C-76-11 OR 16 GA. GALVANIZED STEEL OR 16 GA. ALUMINUM HELICAL CORRUGATED METAL PIPE. STEEL OR ALUMINUM PIPE SHALL HAVE WATER-TIGHT CONNECTING BANDS CONFORMING TO THE REQUIREMENTS OF APWA SPECIFICATIONS SECTION 60-30262. STEEL PIPE SHALL RECEIVE TREATMENT 1 ASPHALT COATING INSIDE AND OUTSIDE, OR BETTER.	
9. BEDDING FOR RIGID PIPE (CONCRETE OR IRON) SHALL BE CLASS "B" PER APWA STANDARD PLAN NO. 62 (PEA GRAVEL FROM FOUR INCHES (4") BELOW TO SPRINGLINE). BEDDING FOR FLEXIBLE PIPE (CORRUGATED METAL OR PLASTIC) SHALL BE CLASS "B" PER APWA STANDARD PLAN NO. 62 (PEA GRAVEL FROM FOUR INCHES (4") BELOW PIPE TO SIX INCHES (6") ABOVE PIPE). TRENCH WIDTH SHALL BE 40 INCHES, MAXIMUM OR 1/2 TIMES PIPE DIAMETER PLUS 18 INCHES, WHICHEVER IS GREATER. BACKFILL SHALL BE PLACED IN SIX INCH (6") LAYERS COMPACTED TO 95% MAXIMUM DENSITY.	
10. EXTRUDED CURB SHALL BE BONDED TO THE ASPHALT SURFACE WITH AS EPOXY BONDED AGENT SUITABLE FOR THAT PURPOSE. PLACE 18 INCH, #4 REBAR AT 8'-0" O.C.	
11. IN ALL AREAS, OTHER THAN ROADS, WHERE CONSTRUCTION REQUIRES THE REMOVAL OF SOD, ETC., THOSE AREAS SHALL BE HYDRO-SEDED WITH RYE GRASS FOR THE PREVENTION OF ON-SITE EROSION.	
12. ALL PIPE SHALL BE LAID ON A PROPERLY PREPARED FOUNDATION ACCORDING TO WASHINGTON STATE SPEC. 7-02-311. THIS SHALL INCLUDE NECESSARY LEVELING OF THE TRENCH BOTTOM OR THE TOP OF THE FOUNDATION MATERIAL, AS WELL AS PLACEMENT AND COMPACTION OF REQUIRED BEDDING MATERIAL TO UNIFORM GRADE SO THAT THE ENTIRE LENGTH OF THE PIPE WILL BE SUPPORTED ON A UNIFORMLY DENSE UNFYLLED BASE. IF THE NATIVE MATERIAL IN THE BOTTOM OF THE TRENCH MEETS THE REQUIREMENTS FOR "GRAVEL BACKFILL FOR THE TRENCH", BEDDING AND TRENCH PIPE BEDDING MAY BE OMITTED PROVIDED THE MATERIAL IN THE BOTTOM OF THE TRENCH IS LOOSEND, REGRADED AND COMPACTED TO FORM A DENSE UNFYLLED BASE.	
13. STRUCTURES SHALL NOT BE PERMITTED WITHIN 10.00 FEET OF THE SPRING LINE OF ANY STORM DRAINAGE PIPE(S), OR 15.00 FEET FROM THE TOP OF THE CHANNEL BANK.	
14. THE STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED ACCORDING TO THE APPROVED PLANS WHICH ARE ON FILE IN THE DEPARTMENT OF PUBLIC WORKS. ANY DEVIATION FROM THE APPROVED PLANS WILL REQUIRE WRITTEN APPROVAL FROM THE PROPER AGENCY, CURRENTLY THE CITY OF TUKWILA DEPARTMENT OF PUBLIC WORKS.	
15. A COPY OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.	
16. ALL DRAINAGE STRUCTURES NOT ON PUBLIC RIGHTS-OF-WAY SHALL HAVE ROUND, SOLID-LOCKING LIDS, UNLESS OTHERWISE APPROVED BY THE DEPARTMENT OF PUBLIC WORKS.	
17. ALL ROOF DRAINS AND FOOTING DRAINS SHALL BE TIGHTLINED TO THE STORM DRAINAGE SYSTEM.	
18. ALL SPOT ELEVATIONS SHOWN ON PLAN ARE TO TOP OF PAVEMENT, UNLESS OTHERWISE NOTED.	
19. THE FACES OF CUT AND FILL SLOPES SHALL BE PREPARED AND MAINTAINED TO CONTROL AGAINST EROSION. THIS CONTROL MAY CONSIST OF SLOPING OR PLANTING. THE PROTECTION FOR THE SLOPES SHALL BE INSTALLED AS SOON AS POSSIBLE AND PROPER CALLING FOR PLANTING APPROVED WHERE CUT SLOPES ARE NOT SUBJECT TO EROSION DUE TO THE EROSION-RESISTANT CHARACTER OF THE MATERIALS, SUCH PROTECTION MAY BE OMITTED.	
20. SEE ARCHITECTURAL SITE PLAN FOR DETAILED INFORMATION AND DIMENSIONS RELATED TO CURB RETURNS, PLANTER DIMENSIONS, SETBACKS, PAVEMENT EDGE LOCATIONS, ETC.	
21. ALL EXISTING UTILITIES SHOWN ON THESE PLANS WERE OBTAINED FROM A FIELD SURVEY AND FROM AVAILABLE PUBLIC RECORDS. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES WHICH MAY CONFLICT WITH CONSTRUCTION, WHETHER SHOWN ON THESE PLANS OR NOT. ENGINEER DOES NOT WARRANT THAT ALL UTILITIES HAVE BEEN SHOWN.	
22. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE TELEPHONE COMPANY, THE GAS COMPANY, THE POWER COMPANY, AND THE CABLE TV COMPANY PRIOR TO CONSTRUCTION SO THAT THESE OTHER UTILITIES CAN PREPARE THE NECESSARY PLANS FOR THE EXTENSION OF THEIR RESPECTIVE UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THESE ACTIVITIES.	
23. THIS CONSTRUCTION SET OF DRAWINGS FOR THIS PROJECT INCLUDE A TOTAL OF <u>4</u> SHEETS. GENERAL NOTES AND DETAILS PROVIDED THROUGHOUT THE DRAWINGS SHALL APPLY TO ALL SHEETS AS APPLICABLE. SPECIFICATIONS OR DETAILS PROVIDED ON ONE SHEET MAY APPLY TO OTHER SHEETS.	

WATER NOTES:

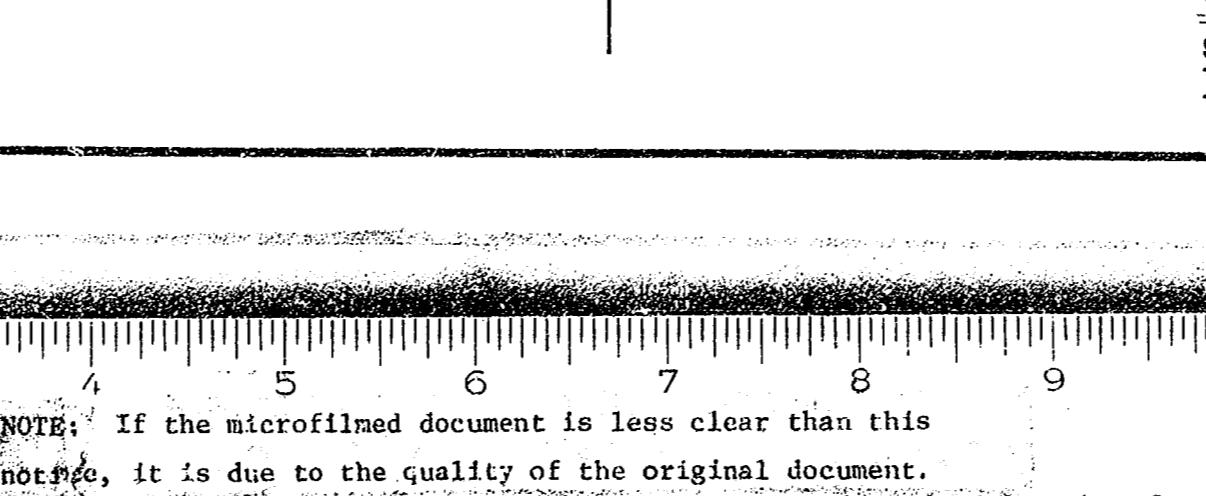
- All water lines shall be constructed in accordance with the City of Tukwila Standard Specifications.
- Minimum cover for water mains shall be three feet.
- All water lines shall be cement-lined, ductile iron, Class 52.
- All fittings shall be cast iron or ductile, with flanged or mechanical joint connection, and be of the same thickness class as the pipe used.
- All water line, service lines, and fire lines shall be tested in accordance with the City of Tukwila Standards.
- Fire hydrants shall be constructed per Standard Detail W-3.
- Wet tap to existing water main shall be coordinated with City at least 48 hours prior to construction.
- All water meters and service lines shall be installed per City of Tukwila Standards and Specifications.
- All pipe fittings and valves to be listed and labeled by UL, for fire service; installed, tested and flushed as specified by NFPA Standards No. 13 and No. 24. Properly completed contractor's material and test certificates are to be provided to Washington surveying and rating bureau and the City of Tukwila.

SANITARY SEWER NOTES:

- All sanitary sewer construction shall be in accordance with the Val-Vac Sewer District's Standard Specifications.
- All pipe used for construction of side sewer shall conform to PVC SDR 35 and the requirements of ASTM D-30 34-73.
- Minimum slope for 6" side sewer shall be 2.0 percent.
- Minimum depth of cover for 6" side sewer shall be 18".
- All connections shall be made with ring type joints.
- Contractor shall obtain required side sewer permit from the Val-Vac Sewer District prior to construction.

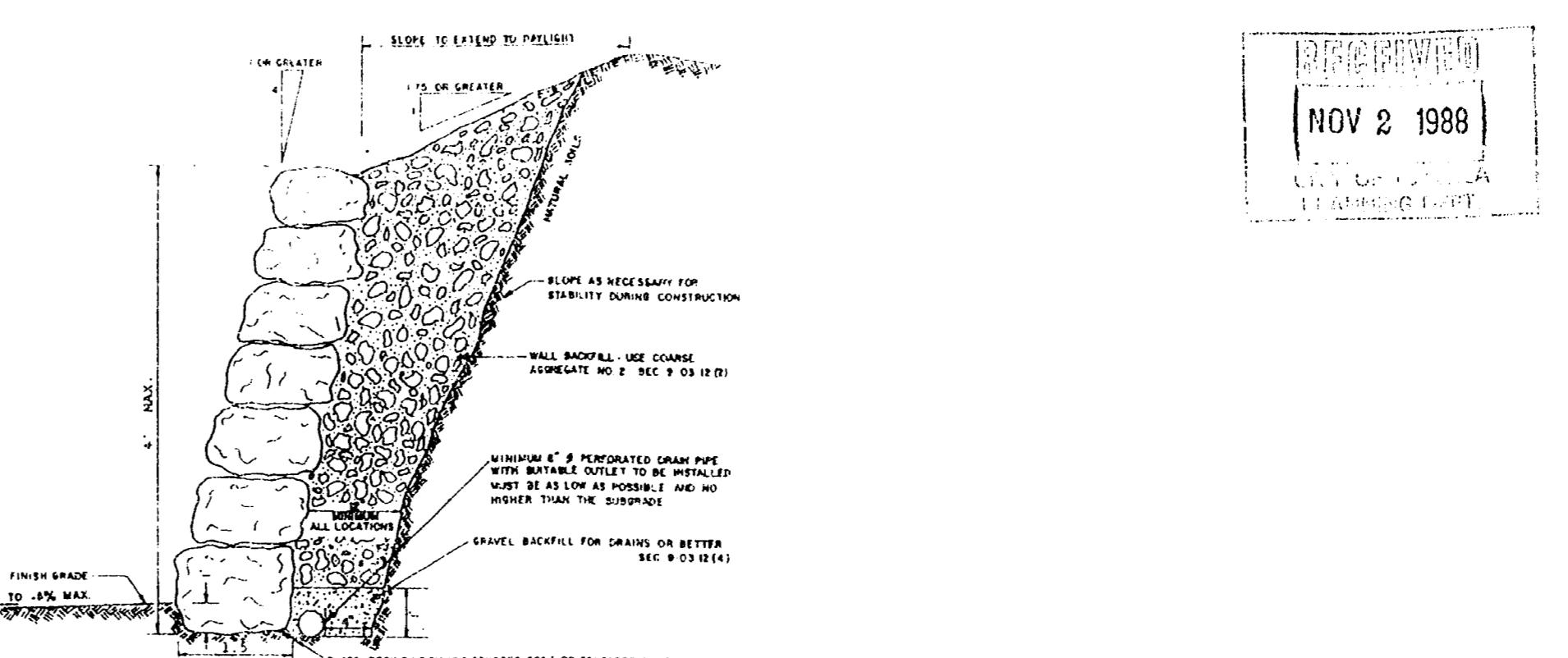
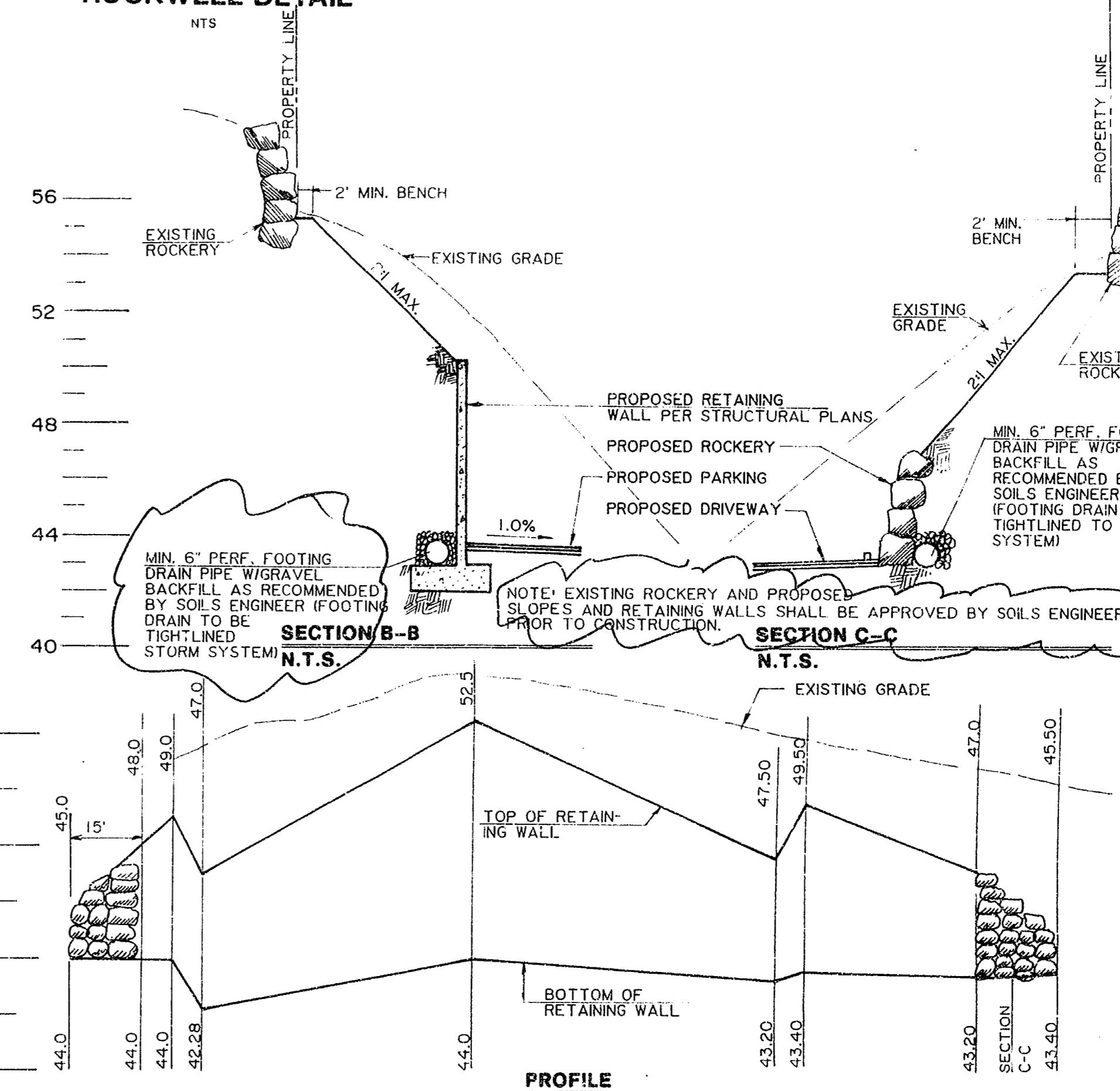
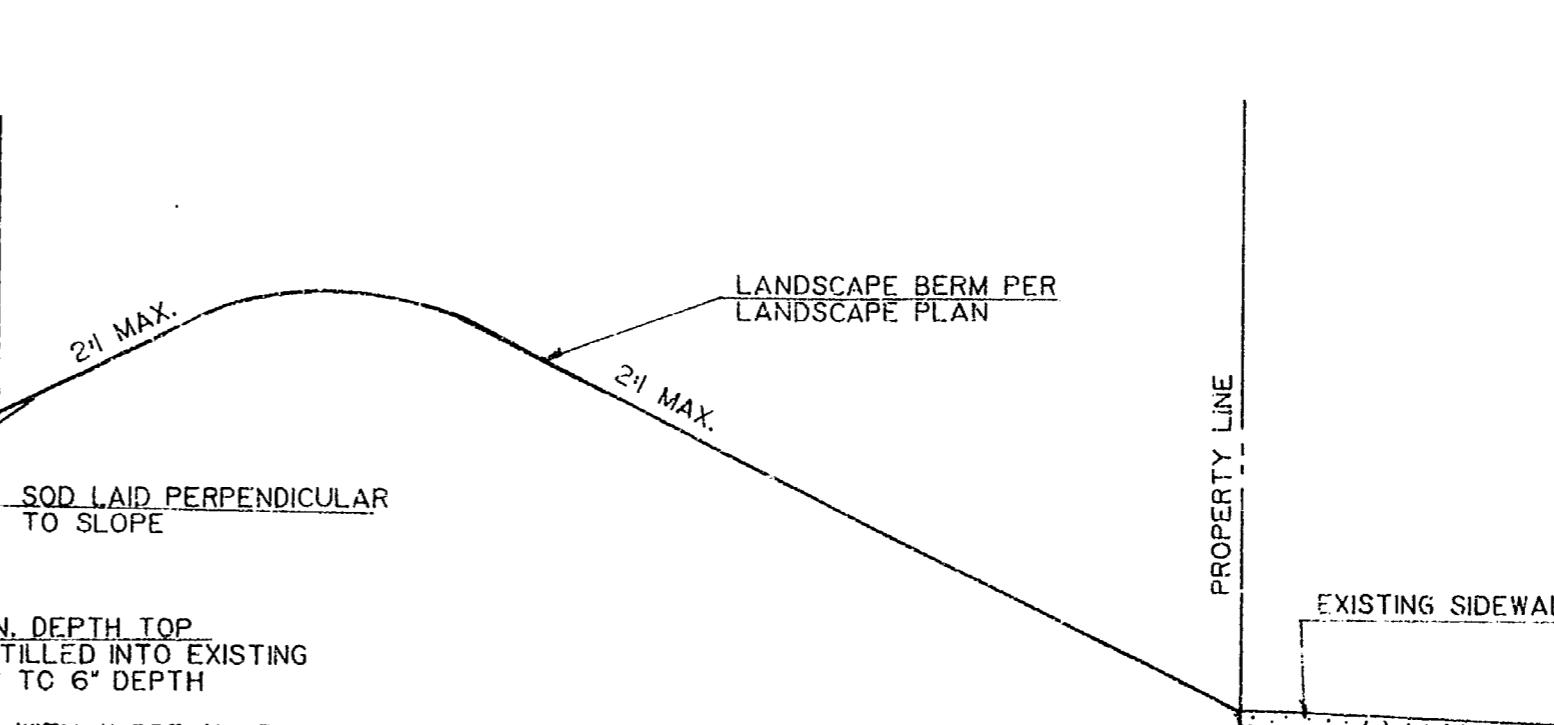
CURB BREAK DETAIL
NTSEXTRUDED CONCRETE CURB DETAIL
NTSTYPICAL PAVING SECTION
NTSDOWNSPOUT TIGHTLINE TO YARD DRAIN
NTSCHECK ASSEMBLY AS REQUIRED BY CITY OF TUKWILA
NTSCB #3 TYPE II-54"
NTS

SECTION A-A

PROFILE & SECTIONS OF PROPOSED
RETAINING WALL & ROCKERY
AS SHOWN

CITY OF TUKWILA APPROVED
NOV 2 1988
BY [Signature]
BUILDING DIVISION

00713 1388

ROCKWELL DETAIL
NTSPROFILE
SCALE: HORIZONTAL - 1" = 20'
VERTICAL - 1" = 4'

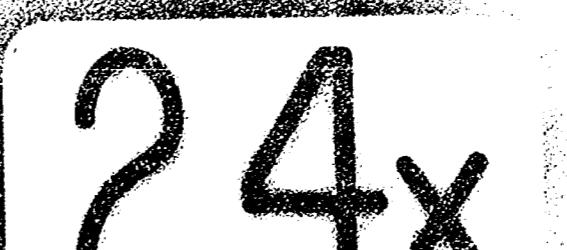
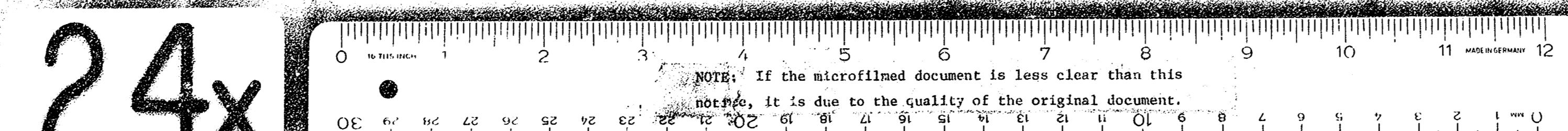
SECTION A-A



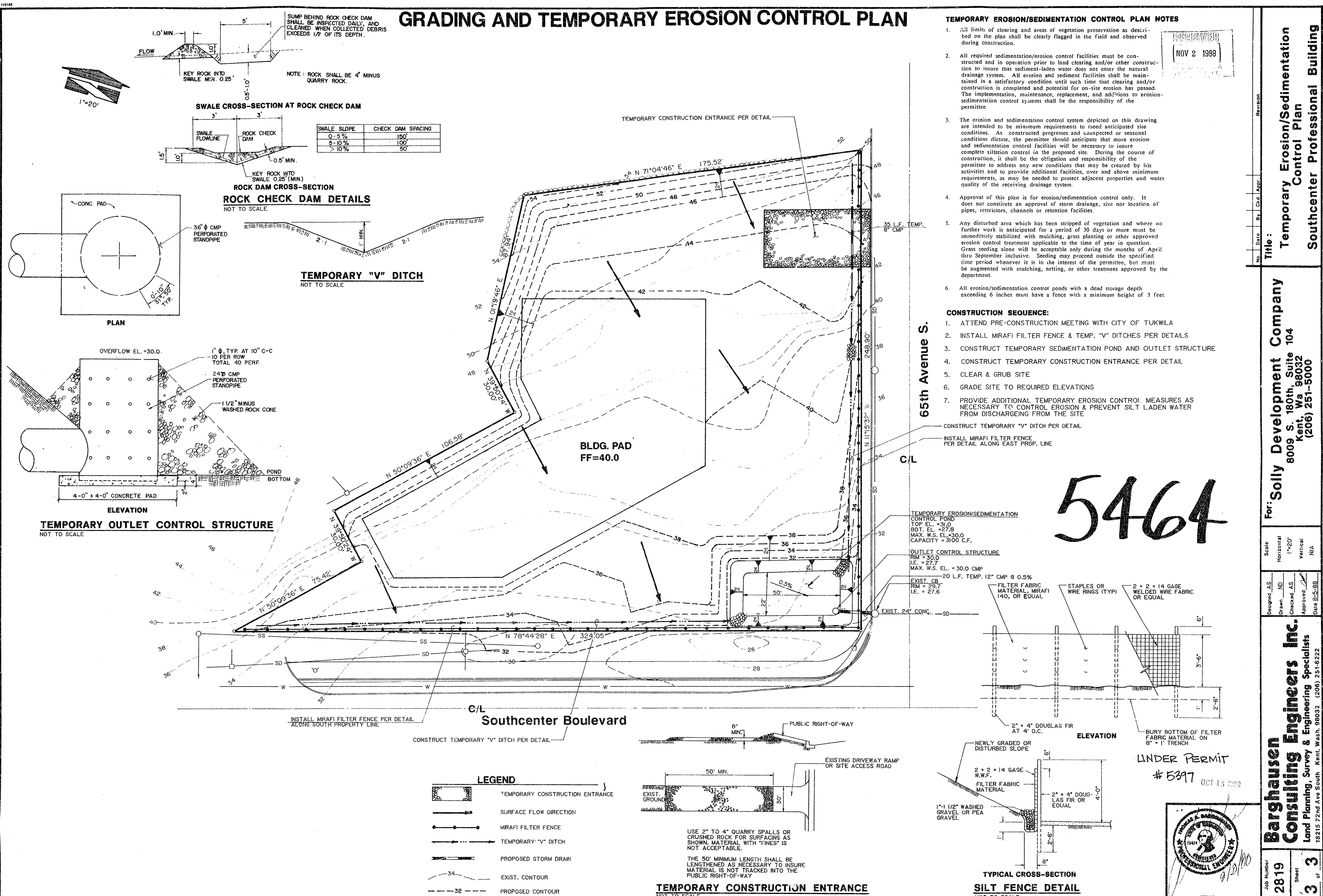
SECTION B-B

NOTES AND DETAILS	
For: Solly Development Company 8009 S. 180th, Suite 104 Kent, Wa 98032 (206) 251-5000	Scale: Horizontal N/A Vertical N/A

Job Number 2819	Designed By Barghausen Consulting Engineers Inc.
Sheet 2 of 3	Checked As Approved Date 12/6/88
Stamp	18215 42nd Ave South Kent Wash 98032 (206) 251-6222

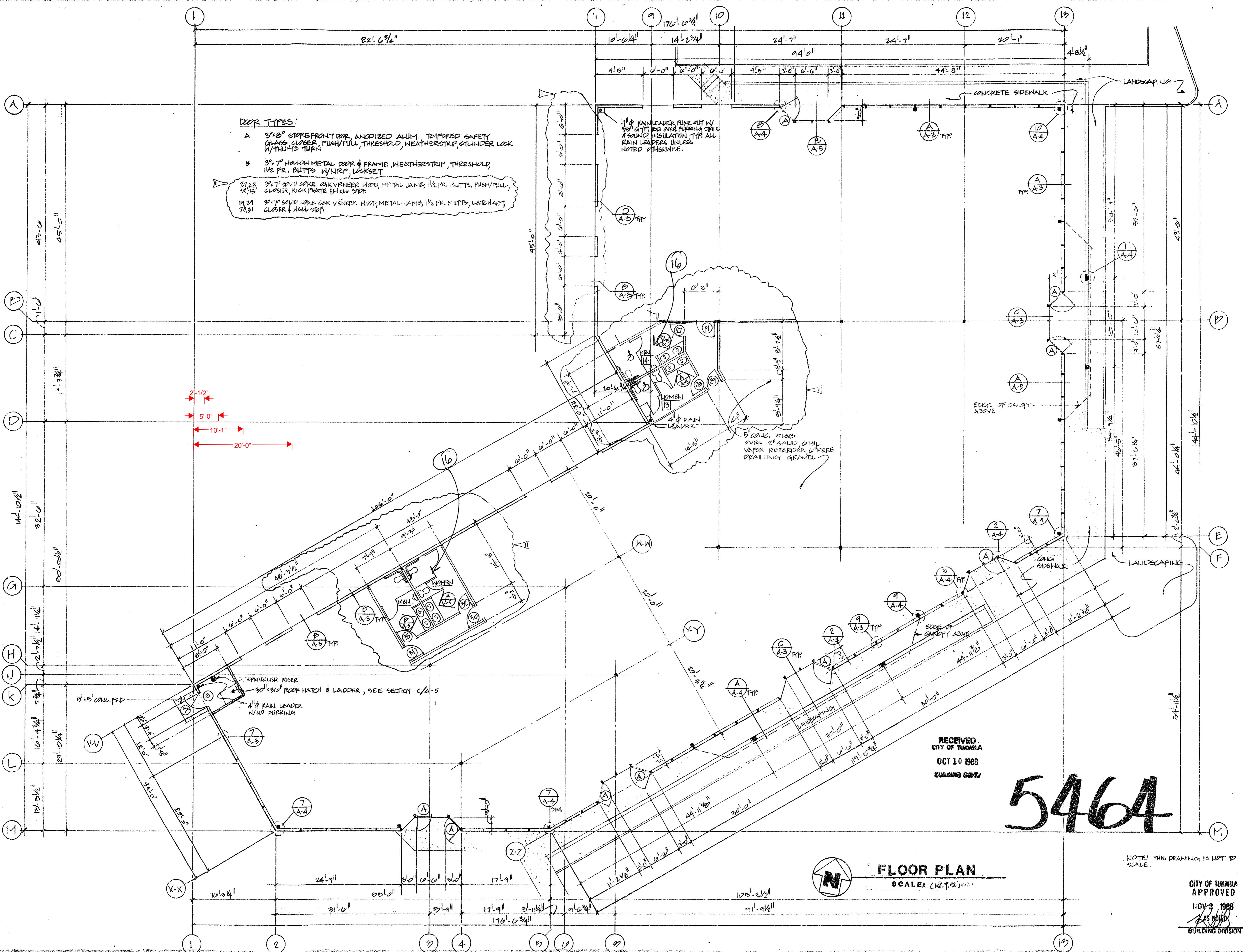


GRADING AND TEMPORARY EROSION CONTROL PLAN

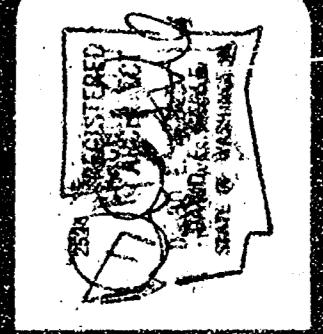


Job Number	2819	For: Solly Development Company	Scale: Horizontal 1"=20' Vertical N/A
Sheet	3	8009 S. 180th, Suite 104 Kent, Wa 98032 (206) 251-5000	Checked AS Approved AS Date 8-5-88
3	3	Title: Temporary Erosion Sedimentation Control Plan Southcenter Professional Building	

Stamp:
Barghausen Consulting Engineers Inc.
Land Planning, Survey & Engineering Specialists
18215 72nd Ave South Kent, Wash. 98032 (206) 251-6222



PROPOSED NEW BUILDING	
FOR:	
3450 SOUTH CENTER BLVD. TUKWILA, WASH.	
□ 12278 INTERURBAN AVENUE SOUTH	
□ TUKWILA, WASHINGTON 98168	
□ (206) 433-8987	
Architect	
David Cenile	
X-4	
A-4	
project no. 8811	date 7-14-88
drawn by (FEB)	checked by (FEB)
SUBMIT FOR PERMIT	
PER BUILDING DEPT.	
1/4 100	1/4 100



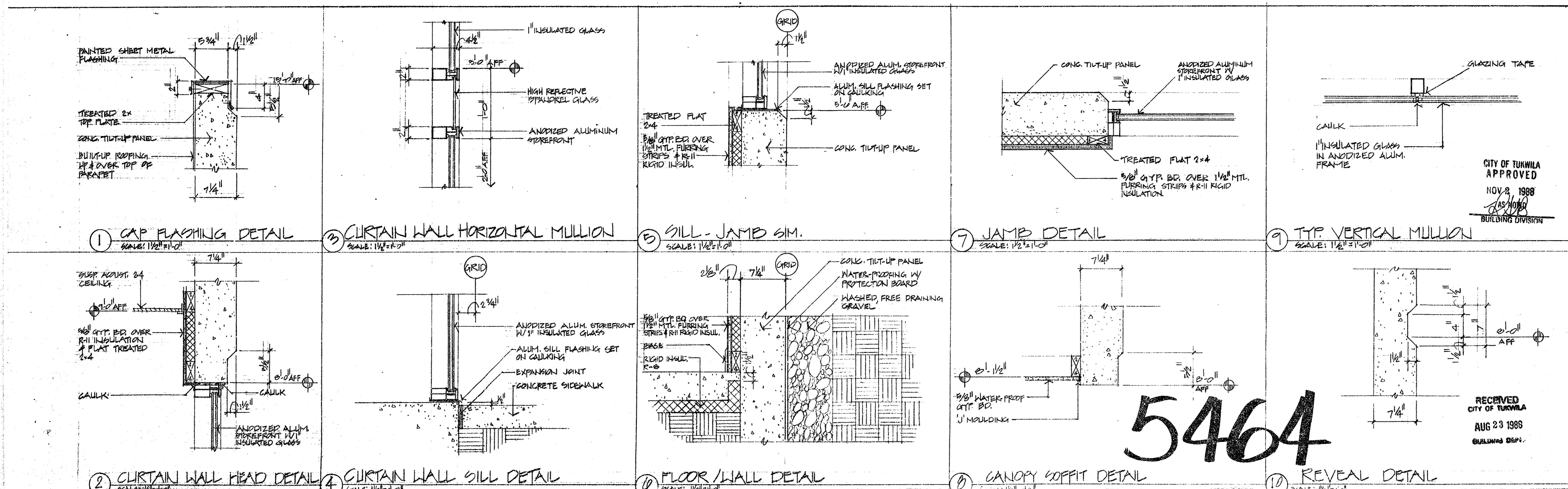
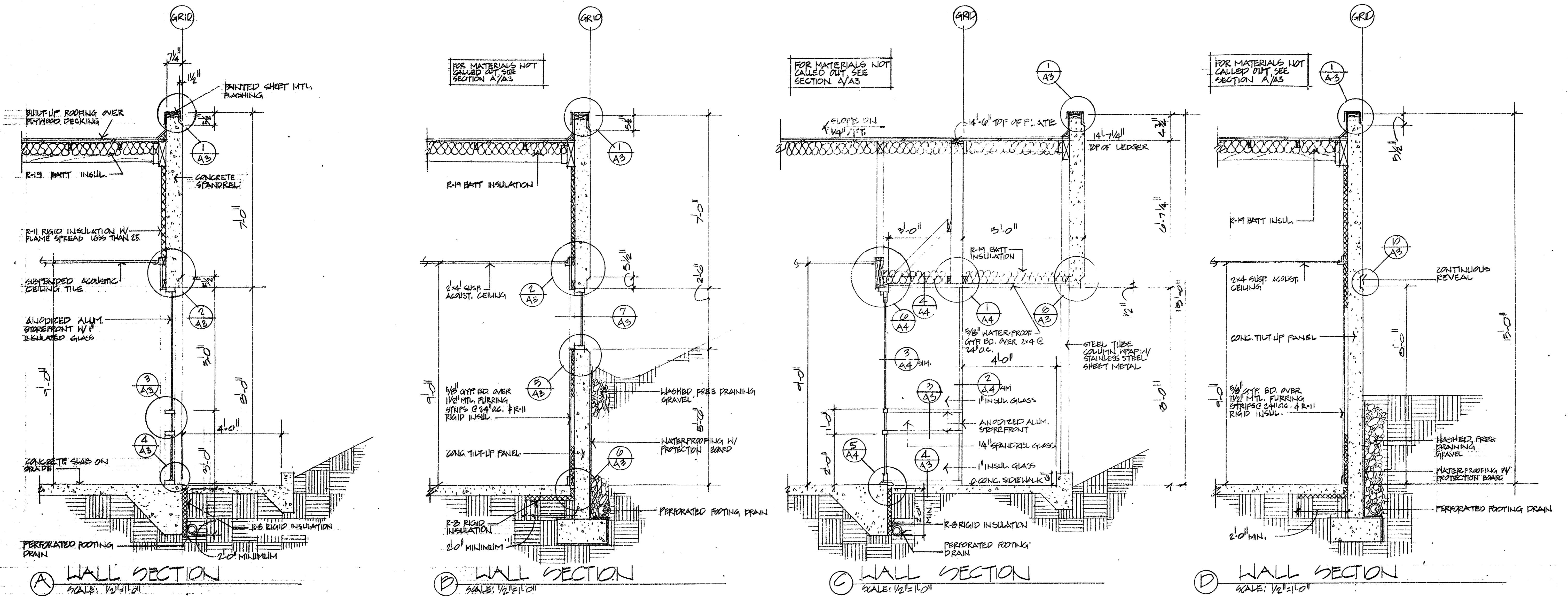
dk
david kehle, architect
1932 first ave. suite 302
seattle, washington 98101
[206] 624-9495

PROPOSED NEW BUILDING

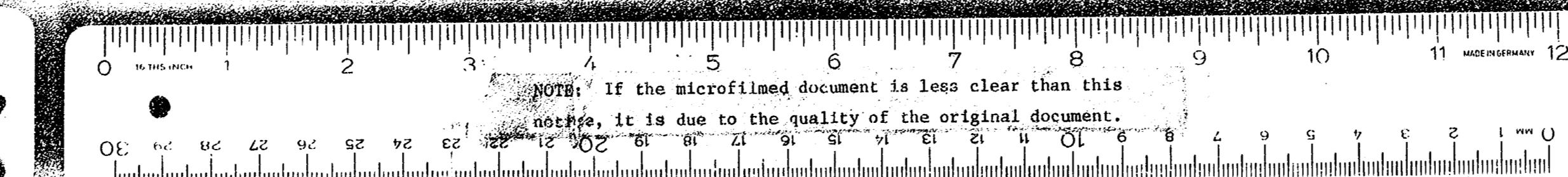
FOR:
6450 SOUTHCENTER BLVD.
TUKWILA, WASH.

A-3

Project No.	8311
Date	8/19/88
Drawn by	25
checked by	
SUBMIT FOR PERMIT	

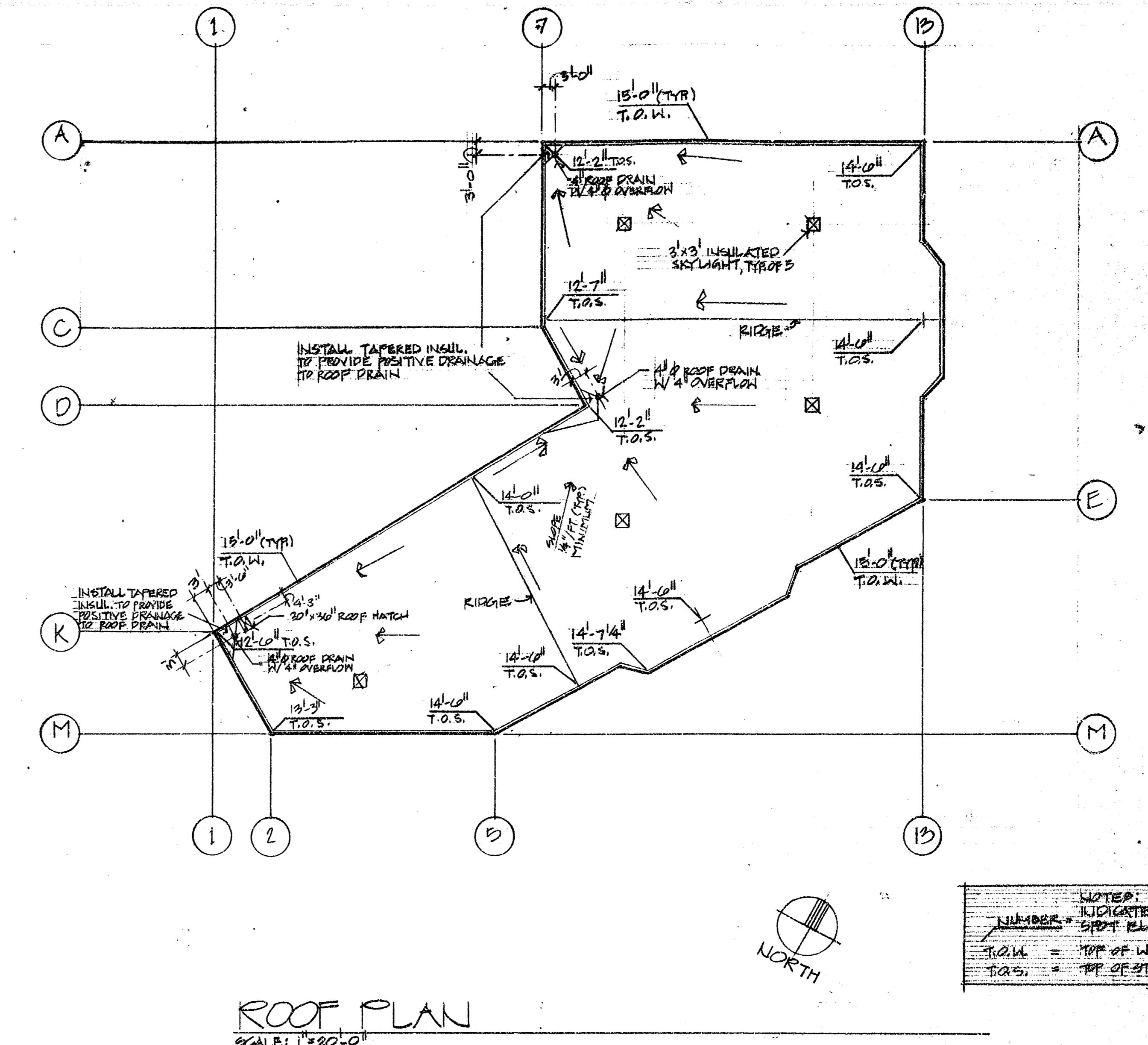
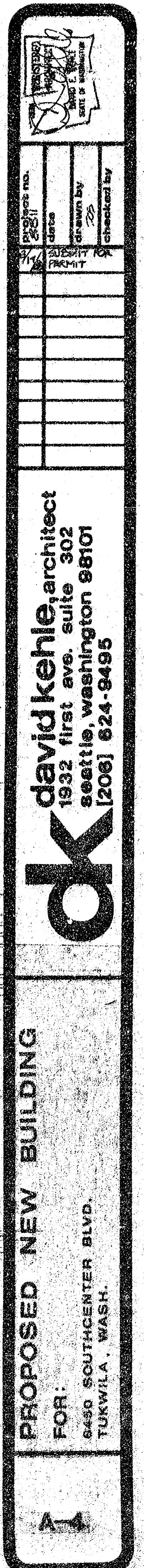


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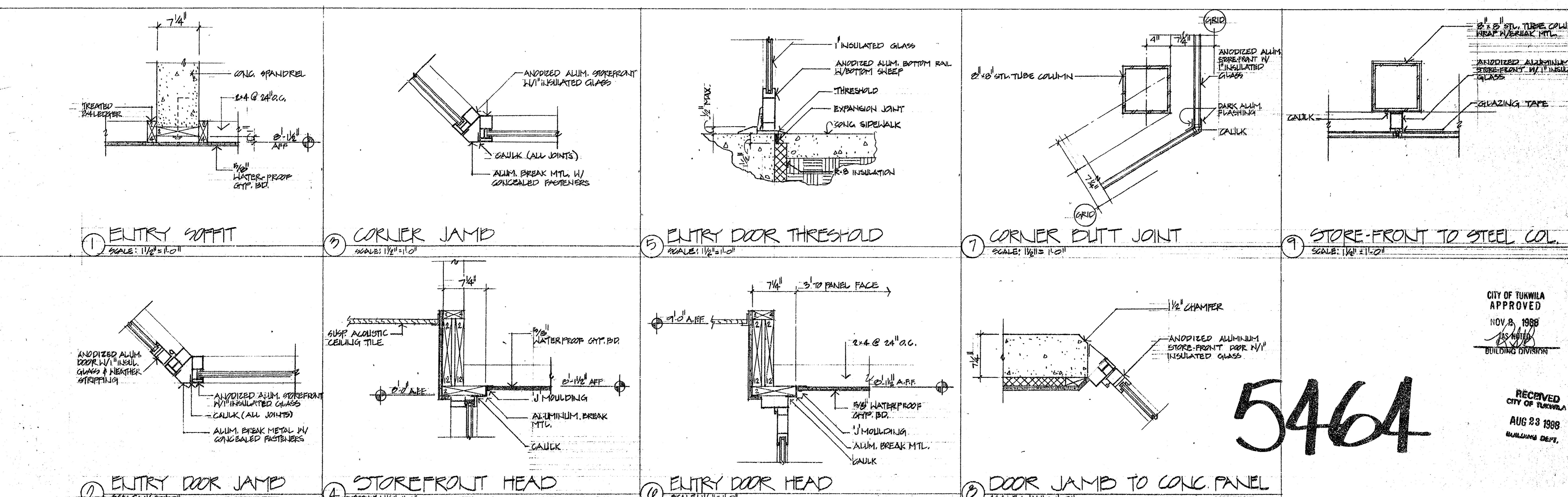
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copy, it is due to the quality of the original document.



ROOF PLAN

SCALE: 1" = 20'-0"



5464

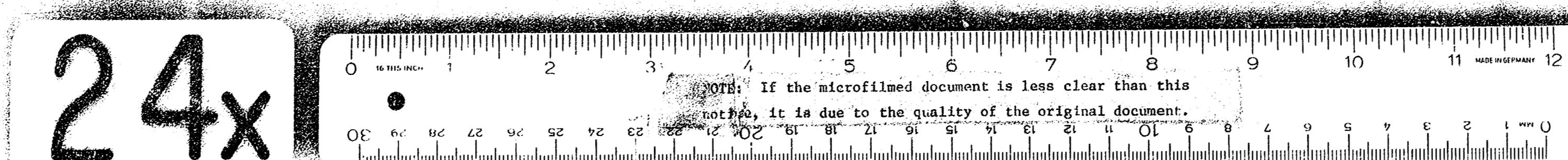
PROPOSED NEW BUILDING

**PROPOSED NEW
SACRED SCOTHCENTER BLVD.
AT TUKWILA, WASH.**

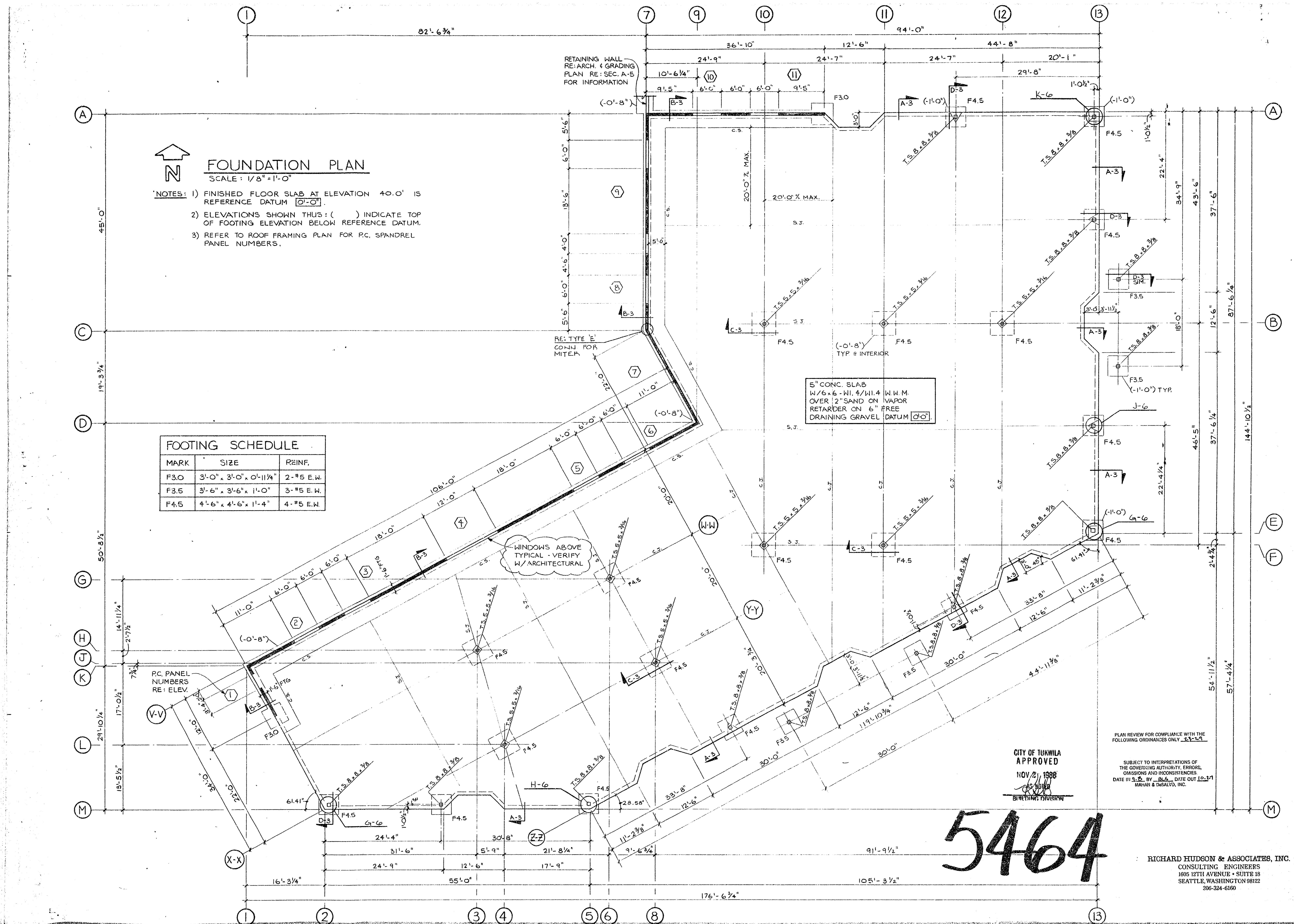
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24x

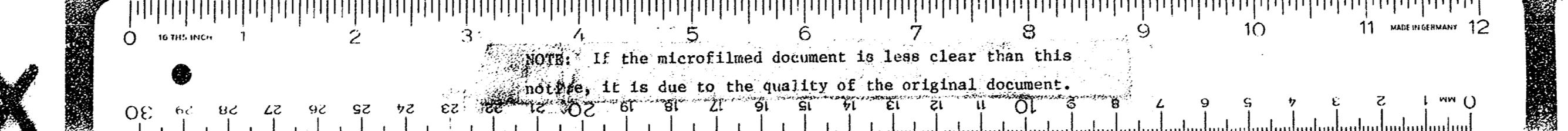


Project no.
Date Drawn by
checked by

dk, washington 98 [206]

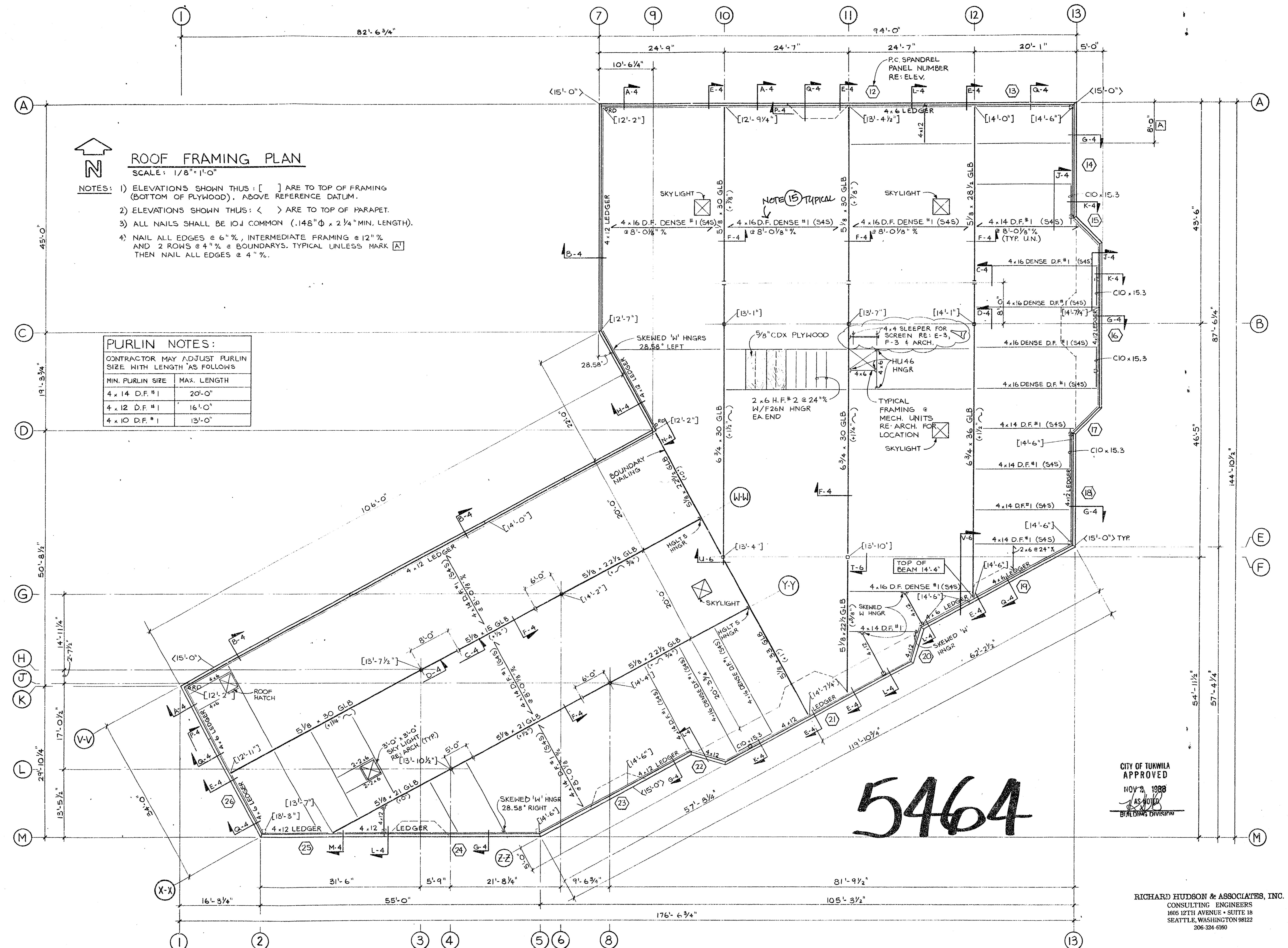
PROPOSED NEW BUILDING
6450 SOUTHCENTER BLVD.
TUKWILA, WASH.

RICHARD HUDSON & ASSOCIATES, INC.
CONSULTING ENGINEERS
1605 12TH AVENUE • SUITE 18
SEATTLE, WASHINGTON 98122
206-324-6160



24x

24x



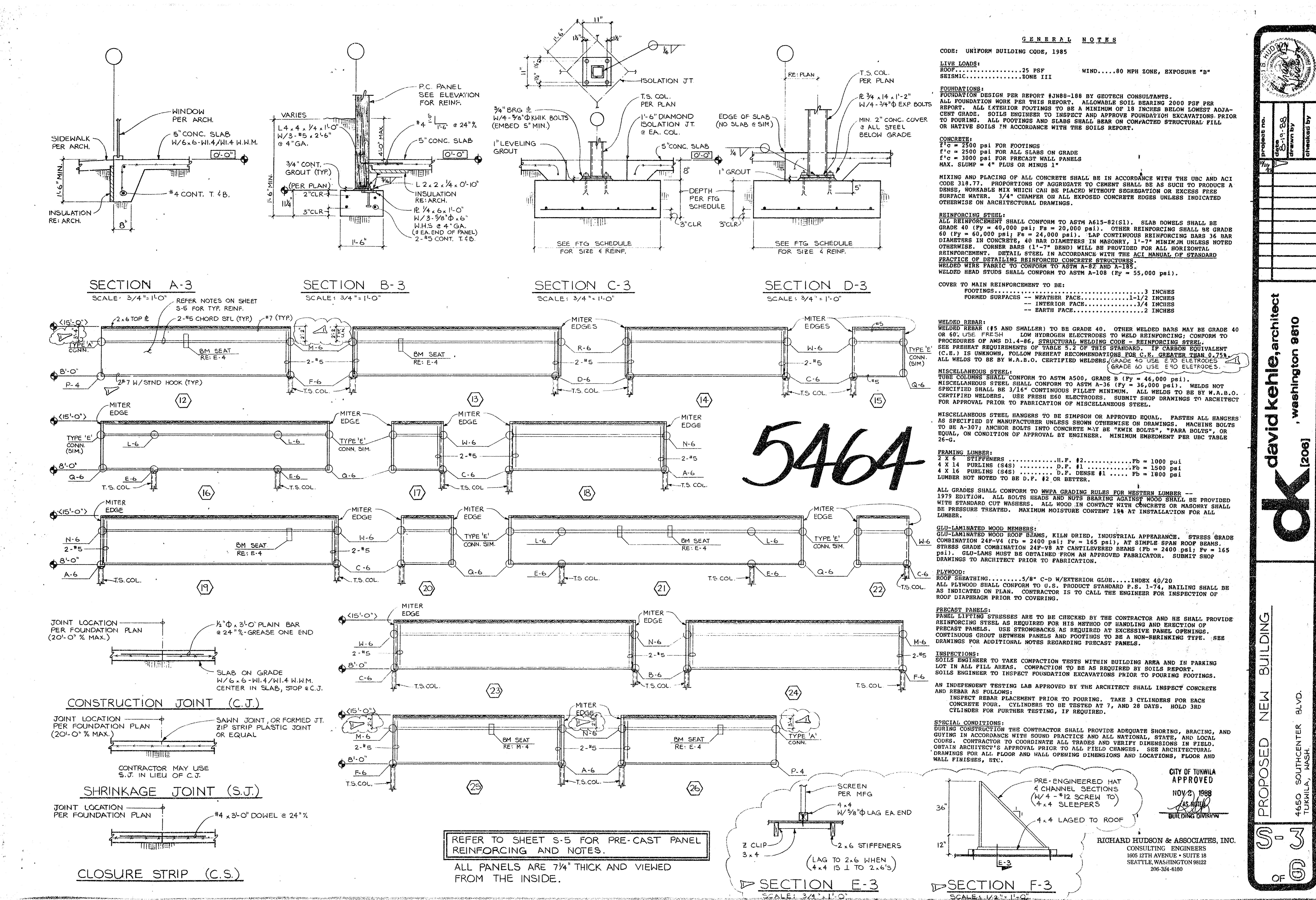
david kehle, architect
12081 Washington 9810

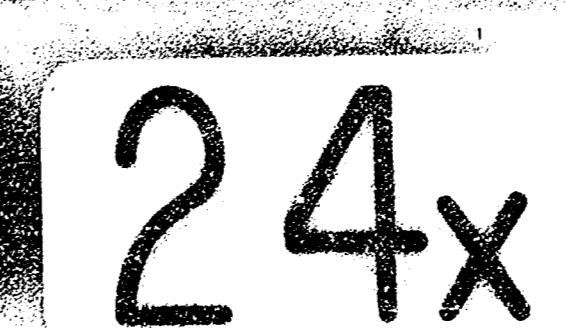
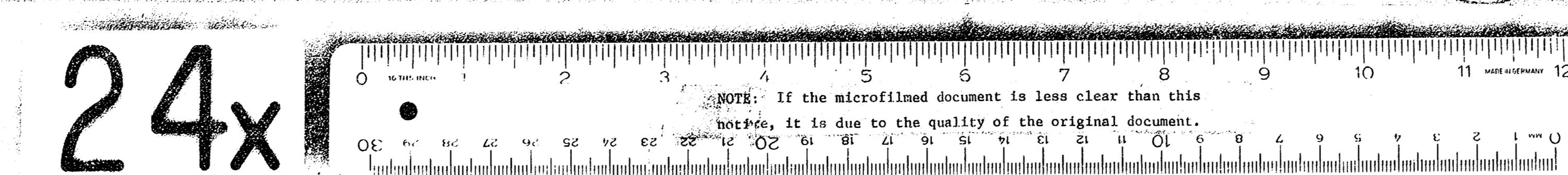
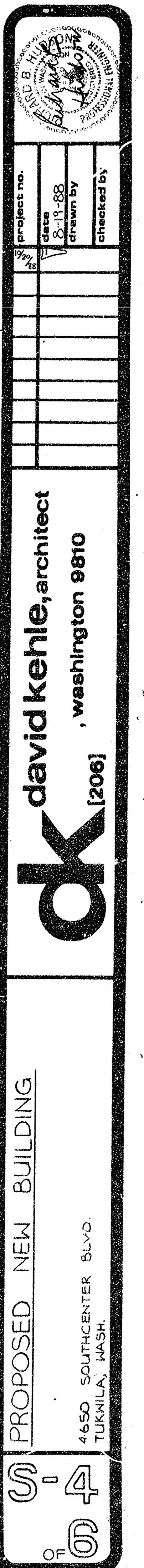
PROPOSED NEW BUILDING

PROPOSED NEW
THINKWILA, WASH.
6450 SOUTH CENTER BLVD.

RICHARD HUDSON & ASSOCIATES, INC.
CONSULTING ENGINEERS
1605 12TH AVENUE • SUITE 18
SEATTLE, WASHINGTON 98122
206-324-6160

5464







Project No.	10-1-88
Drawn by	
Checked by	
Date	10/25/88

dk david kehle, architect
washington 9810 (206)

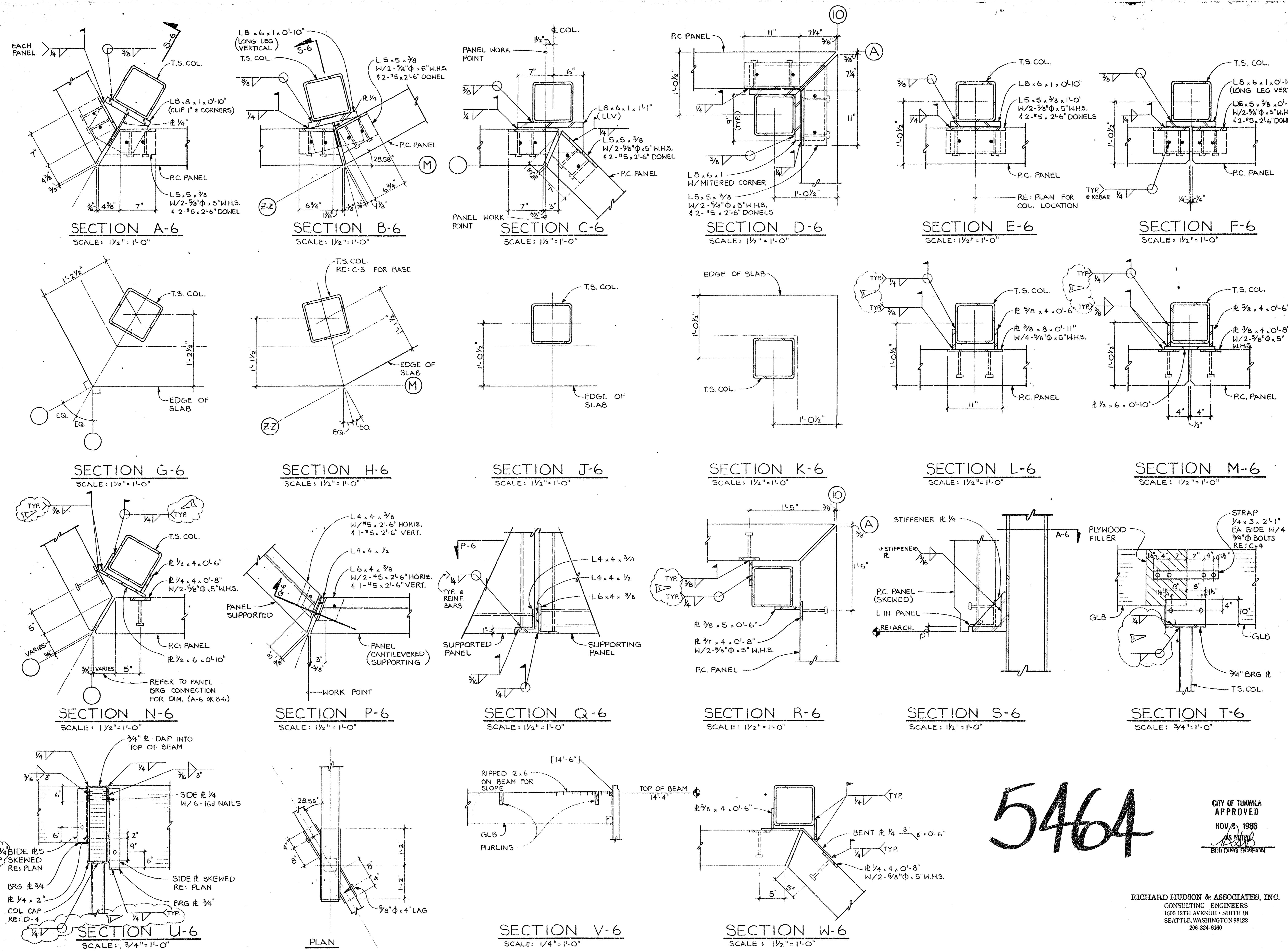
PROPOSED NEW BUILDING
6450 SOUTHCENTER BLVD.
TUKWILA, WASH.

S-6
OF 6

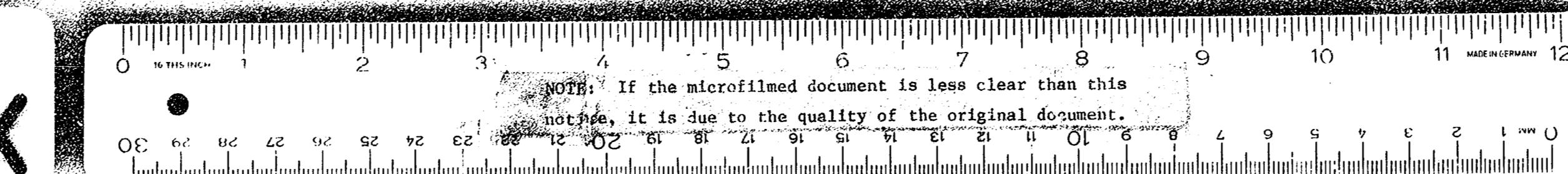
CITY OF TUKWILA
APPROVED
NOV. 2, 1988
AS PER
BUILDING DIVISION

RICHARD HUDSON & ASSOCIATES, INC.
CONSULTING ENGINEERS
1605 12TH AVENUE • SUITE 18
SEATTLE, WASHINGTON 98122
206-324-6160

5464



24x



24x

6450 SOUTHCENTER BLVD

ASSOCIATED PERMITS

16-S-211

14-S-038

09-S-009

05-S-249

98-S-265

95-S-277

91-S-329

91-S-214

90-0042

89093

D98-0322

16-S-211



**CITY OF TUKWILA
FIRE MARSHAL'S OFFICE
206-575-4407**



FIRE PROTECTION SYSTEMS PERMIT APPLICATION

Applications and plans must be complete in order to be accepted for plan review.

****PLEASE PRINT****

SITE LOCATION

King Co. Assessor's Tax No.: _____

Site Address: 6450 Southcenter Blvd Suite Number: 202 Floor: 2nd

Tenant Name: UBER New Tenant? Yes No

Property Owner's Name: _____

Mailing Address: _____ City _____ State _____ Zip _____

CONTACT PERSON-if there are questions about the submittal.

Name: BRAD WEAVER Day Telephone: 206-349-1175

Company Name: ACE FIRE SYSTEMS, LLC

Mailing Address: PO BOX 2065 City _____ State _____ Zip _____

E-mail Address: ACEFIRESYSTEMS@COMCAST.NET Fax Number: None

Contractor's City of Tukwila Business License number: _____

Total number of new/relocated devices or sprinkler heads: 13

Valuation of Project (contractor's bid price): \$ 2060,-

Scope of Work (please provide detailed information): RELOCATE EXIST. HDS FOR NEW T.I.

PERMIT APPLICATION NOTES

Value of Construction – In all cases, a value of construction amount should be entered by the applicant. This figure will be reviewed and is subject to possible revision by the Fire Marshal to comply with current fee schedules.

Expiration of Plan Review-Every permit issued shall become invalid unless the work on the site authorized by such permit is commenced within 180 days after its issuance, or if the work authorized on the site by such permit is suspended or abandoned for a period of 180 days after the time the work is commenced. The Fire Marshal is authorized to grant, in writing, one or more extensions of time, for periods not more than 180 days each. The extension shall be requested in writing and justifiable cause demonstrated.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE UNDER PENALTY OF PERJURY BY THE LAWS OF THE STATE OF WASHINGTON, AND I AM AUTHORIZED TO APPLY FOR THIS PERMIT.

BUILDING OWNER OR AUTHORIZED AGENT:

Signature: TSW

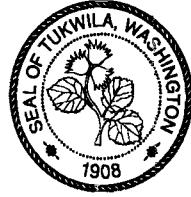
Date: 10-11-2016

Print Name: Brad Weaver

Day Telephone: 206-349-1175



CITY OF TUKWILA FIRE DEPARTMENT
444 Andover Park East
Tukwila, WA 98188
206-575-4407



Date application accepted: _____

14-S-038

FIRE PROTECTION SYSTEMS PERMIT APPLICATION

Applications and plans must be complete in order to be accepted for plan review.

PLEASE PRINT

SITE LOCATION

King Co. Assessor's Tax No.: 000320-0011

Site Address: 6450 Southcenter Blvd. Suite Number: 107 Floor: 1st
Tenant Name: Fidelity New Tenant? - Yes - No

Property Owner's Name: _____

Mailing Address: _____ City _____ State _____ Zip _____

CONTACT PERSON-if there are questions about the submittal.

Name: Keith Kyle Day Telephone: 425-239-2698

Company Name: Burns Fire Protection Systems

Mailing Address: Po Box 1110 Granite Falls City _____ State _____ Zip WA 98252

E-mail Address: Kd169@aol.com City _____ State _____ Zip _____
Fax Number: 425-691-2704

Total number of new/relocated devices or sprinkler heads: 1

Valuation of Project (contractor's bid price): \$ 300

Scope of Work (please provide detailed information): Relocate one Sprinkler head
to new closet/ Data Room

PERMIT APPLICATION NOTES

Value of Construction – In all cases, a value of construction amount should be entered by the applicant. This figure will be reviewed and is subject to possible revision by the Fire Marshal to comply with current fee schedules.

Expiration of Plan Review-Every permit issued shall become invalid unless the work on the site authorized by such permit is commenced within 180 days after its issuance, or if the work authorized on the site by such permit is suspended or abandoned for a period of 180 days after the time the work is commenced. The Fire Marshal is authorized to grant, in writing, one or more extensions of time, for periods not more than 180 days each. The extension shall be requested in writing and justifiable cause demonstrated.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE UNDER PENALTY OF PERJURY BY THE LAWS OF THE STATE OF WASHINGTON, AND I AM AUTHORIZED TO APPLY FOR THIS PERMIT.

BUILDING OWNER OR AUTHORIZED AGENT:

Signature: Keith Kyle

Date: 2/28/14

Print Name: Keith Kyle

Day Telephone: 425-239-2698

FIRE DEPARTMENT SPRINKLER PLAN REVIEW COMMENTS

Project Name: **Uber**
6450 Southcenter Bl Suite 202

Permit No.: **16-S-211**

Date: **October 12, 2016**

Reviewer: **AI Metzler**
Fire Protection Project Coordinator
(206) 575-4407 option # 2 (Inspection Requests)
(206) 971-8718 (Plan Review Questions)

- Lateral sway bracing is required at a maximum spacing of 40' for all mains, cross mains, and branch lines 2.5" and larger. Bracing is provided for the last length of pipe but within 6' of the end of a feed or cross main. Bracing is required unless all the pipe is supported by rods less than 6" or by 30 ° wrap-around U-hooks for any size pipe, 9.3.5.3.
- Minimum clearance around pipes: 2 " for 1"-3.5", 4" for 4" and larger, see 4 exceptions, 9.3.4.
- Longitudinal sway bracing is a maximum of 80' for mains and cross mains and within 40 ' of the end of the line, 9.3.5.4.
- Provide lateral and longitudinal bracing for changes in pipe direction per section 9.3.5.11.2 for pipe size 2 ½ inches and larger.
- Restrain branch lines at the end sprinkler of each line, restrain against vertical and lateral movement, 9.3.6.3.
- Restraints for branch lines shall be at intervals per table 9.3.6.4 and section 9.3.6.4, and restrain sprig ups greater than 4', 9.3.6.6.
- Comply with ASCE 7-05, section 13.5.6.2.2.
- Provide sprinkler protection beneath all obstructions greater than 4 ft. in width.
- Extend sprinkler protection to all combustible concealed spaces.

- Comply with NFPA 13 obstruction tables.
- All valves controlling the water supply for automatic sprinkler systems and waterflow switches on all sprinkler systems shall be electrically supervised.
- All interior control valves shall be readily accessible, labeled and located not more than 6 ft. above the floor.
- Comply with obstructed/non-obstructed construction rules for sprinkler head placement.
- Sprinkler heads spaced closer than 6 ft. apart must be baffled.
- Modifications involving 20 or more heads require hydrostatic test and system isolation if necessary.
- For dry pipe and double interlock preaction systems, in addition to the standard hydrostatic test, an air pressure leakage test at 40 psi shall be conducted for 24 hours. Any leakage that results in a loss of pressure in excess of 1.5 psi for the 24 hours shall be corrected.
- These conditions apply to all sprinkler piping exposed as necessary to accomplish the permitted scope of work.

All code references are NFPA 13, 2013 Edition.

FIRE DEPARTMENT SPRINKLER PLAN REVIEW COMMENTS

Project Name: **Seattle Savings Bank**
6450 Southcenter BL Suite # 110

Permit No.: **09-S-009**

Date: **January 14, 2009**

Reviewer: **Al Metzler**
Fire Protection Project Coordinator
(206)575-4407

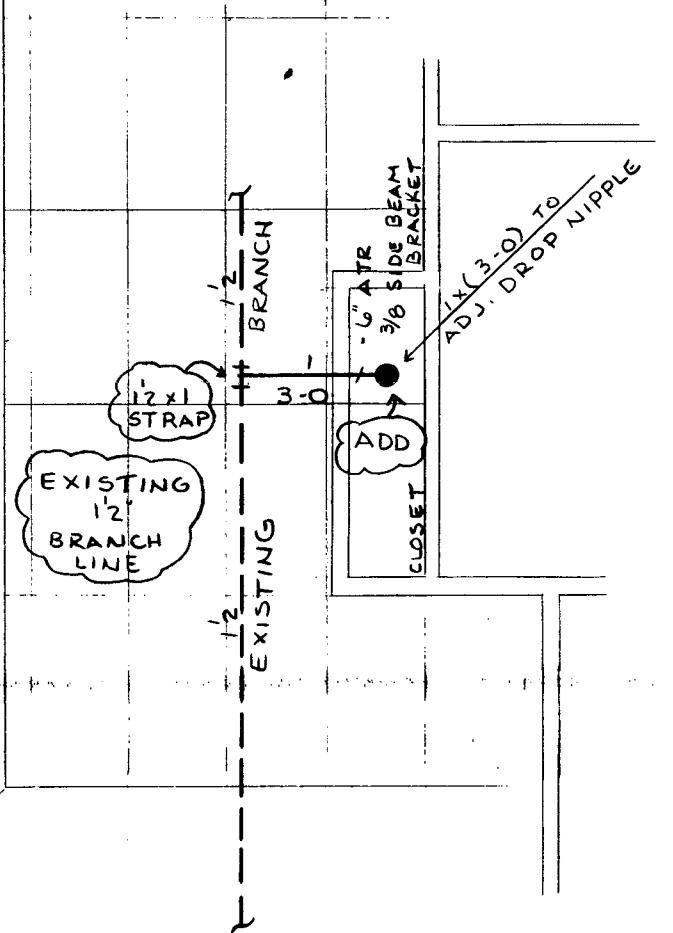
- Lateral sway bracing is required at a maximum spacing of 40' for all mains, cross mains, and branch lines 2.5" and larger. Bracing is provided for the last length of pipe but within 6' of the end of a feed or cross main. Bracing is required unless all the pipe is supported by rods less than 6" or by 30 ° wrap-around U-hooks for any size pipe, 9.3.5.3.
- Minimum clearance around pipes: 2 " for 1"-3.5", 4" for 4" and larger, see 4 exceptions, 9.3.4.
- Longitudinal sway bracing is a maximum of 80' for mains and cross mains and within 40 ' of the end of the line, 9.3.5.4.
- Provide lateral and longitudinal bracing for changes in pipe direction per section 9.3.5.11.2 for pipe size 2 ½ inches and larger.
- Restrain branch lines at the end sprinkler of each line, restrain against vertical and lateral movement, 9.3.6.3.
- Restraints for branch lines shall be at intervals per table 9.3.6.4 and section 9.3.6.4, and restrain sprig ups greater than 4', 9.3.6.6.
- Comply with ASCE 7-05, section 13.5.6.2.2.
- Provide sprinkler protection beneath all obstructions greater than 4 ft. in width.
- Extend sprinkler protection to all combustible concealed spaces.
- Comply with NFPA 13 obstruction tables.

- Sprinkler heads spaced closer than 6 ft. apart must be baffled.
- Modifications involving 30 or more heads require hydrostatic test and system isolation if necessary.
- These conditions apply to all sprinkler piping exposed as necessary to accomplish the permitted scope of work.

All code references are NFPA 13, 2007 Edition.

SCOPE OF WORK:

SFS WILL CUT INTO AN EXISTING 1/2" BRANCHLINE AND ADD (1) RELIABLE MOD. "G" RECESSED, '2", 165°, CHROME PENDENT INTO NEW CLOSET. THE ARM-OVER WILL BE SUPPORTED FROM A WOOD PURLIN WITH A SIDE BEAM BRACKET.



RECEPTIONIST AREA

CITY OF TUKWILA
575-4407

DATE: 11/7/95 BY: AS 511

The drawings affixed hereunto have been reviewed and accepted by the City of Tukwila Fire Dept. At this time, deletions or revisions to the drawings after this date will void the drawings and cause an immediate revision of revised drawings. Final acceptance is subject to fire department inspection by a representative of this department.

WITHOUT COMMENTS
 AS NOTED IN RED
 PER THE ATTACHED LETTER

ACCEPTED

NOV 6 1995
R A M
#14805 \$100

TUKWILA FIRE DEPARTMENT
Please call: 575-4407
and give this job
No. 95-S-277
and exact address for shut-
down or restoration approval.



SMITH FIRE SYSTEMS, INC.

4519 South Orchard
Tacoma, Washington 98466
CONTR. REG. NO. SMITHFS1360T

PROJECT
CROWMWEL MENDOZA ATTORNEYS
6450 S. CENTER BLVD. #100
TUKWILLA, WA. 98188

DESIGNER	DATE	SHEET	JOB NO.
D. X. HUGHEY	11/7/95	1 OF 1	S-1077

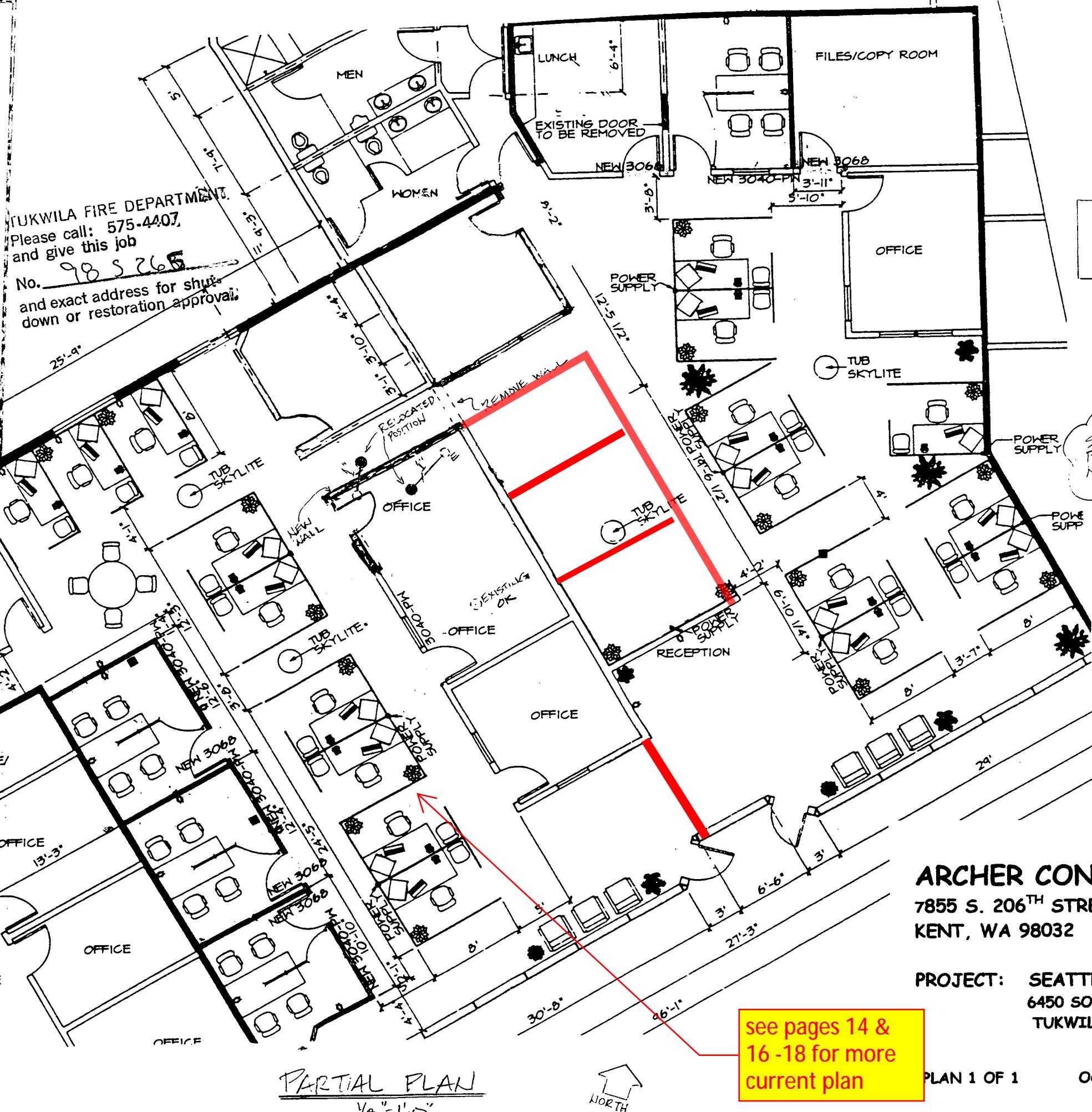
ACCEPTED

- Without Comments
- As Noted In Red
- Per The Attached Letter

These plans have been reviewed by The Tukwila Fire Prevention Bureau for conformance with current city standards. Acceptance is subject to errors and omissions which do not authorize violations of adopted standards and ordinances. The responsibility for the adequacy of design rests totally with the designer. Additions, deletions or revisions to these drawings after this date will void this acceptance and will require a resubmittal of revised drawings for subsequent approval.

Final acceptance is subject to field test and inspection by The Tukwila Fire Prevention Bureau.

Date: 10/28/98 By: SD S/O



TUKWILA FIRE DEPARTMENT
Please call: 575-4407

and give this job
No. 98 S 265

and exact address for shut-
down or restoration approval

BLDG PLAN
NO SCALE

NORTH

SCOPE: RELOCATE 2 EXIST.
PENDENT LEADS DUE TO
NEW OFFICE/CORRIDOR WALL

PERMIT # D98-0322



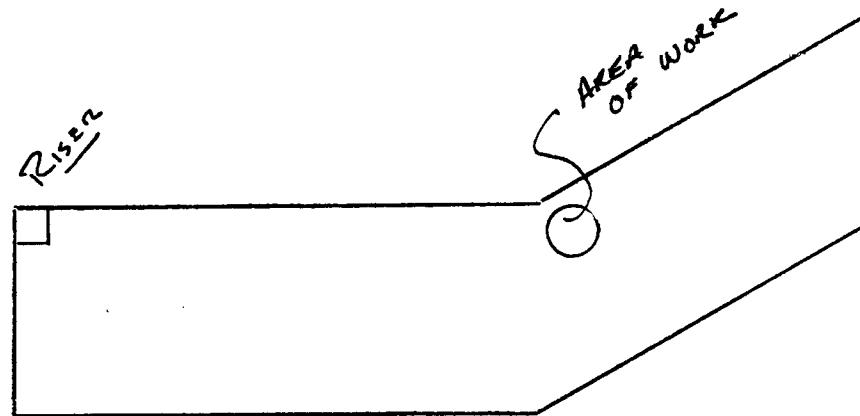
Rob Popke

ARCHER CONSTRUCTION, INC
7855 S. 206TH STREET PHONE: 253-872-7222
KENT, WA 98032 FAX: 253-872-7277

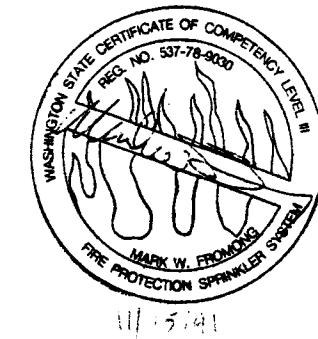
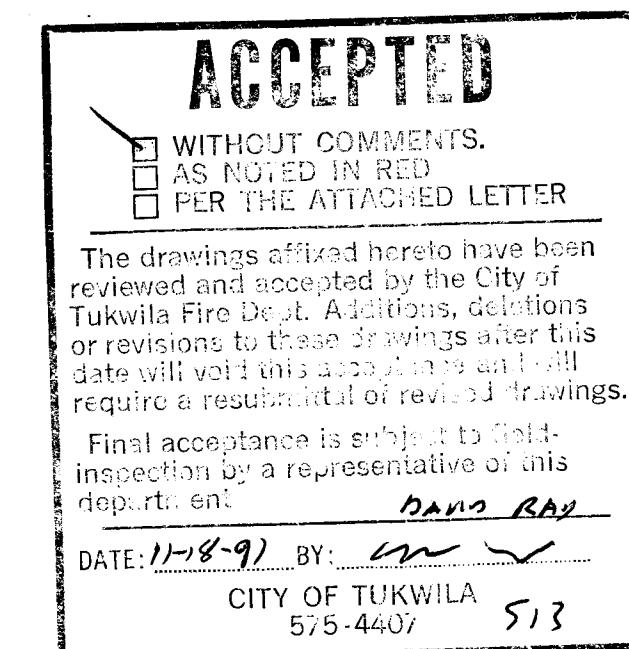
PROJECT: SEATTLE MORTGAGE
6450 SOUTHCENTER BLVD SUITE 106
TUKWILA, WA.

RECEIVED
OCT 26 1998

PAID
#1839



So CTR BLVD

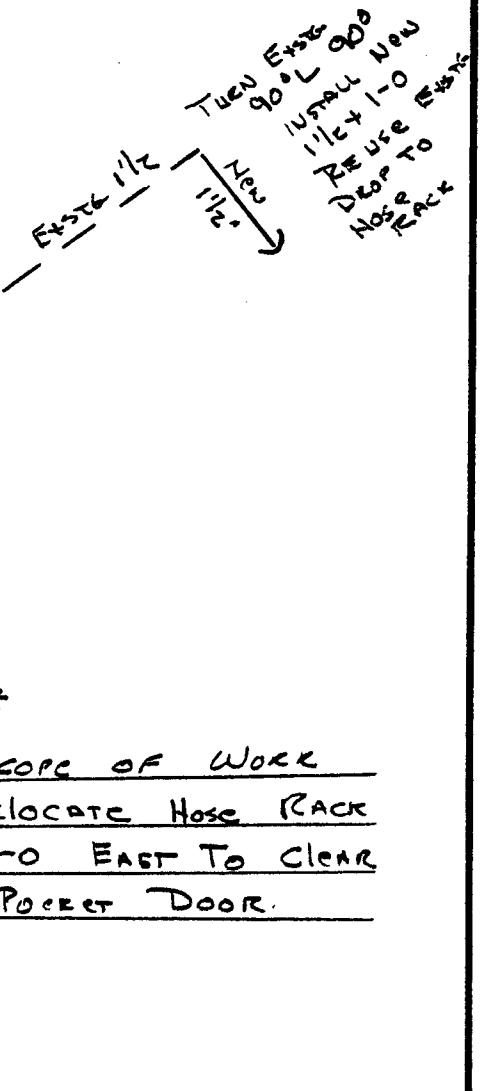


REVISIONS			
MK	DATE	BY	
1			
1			

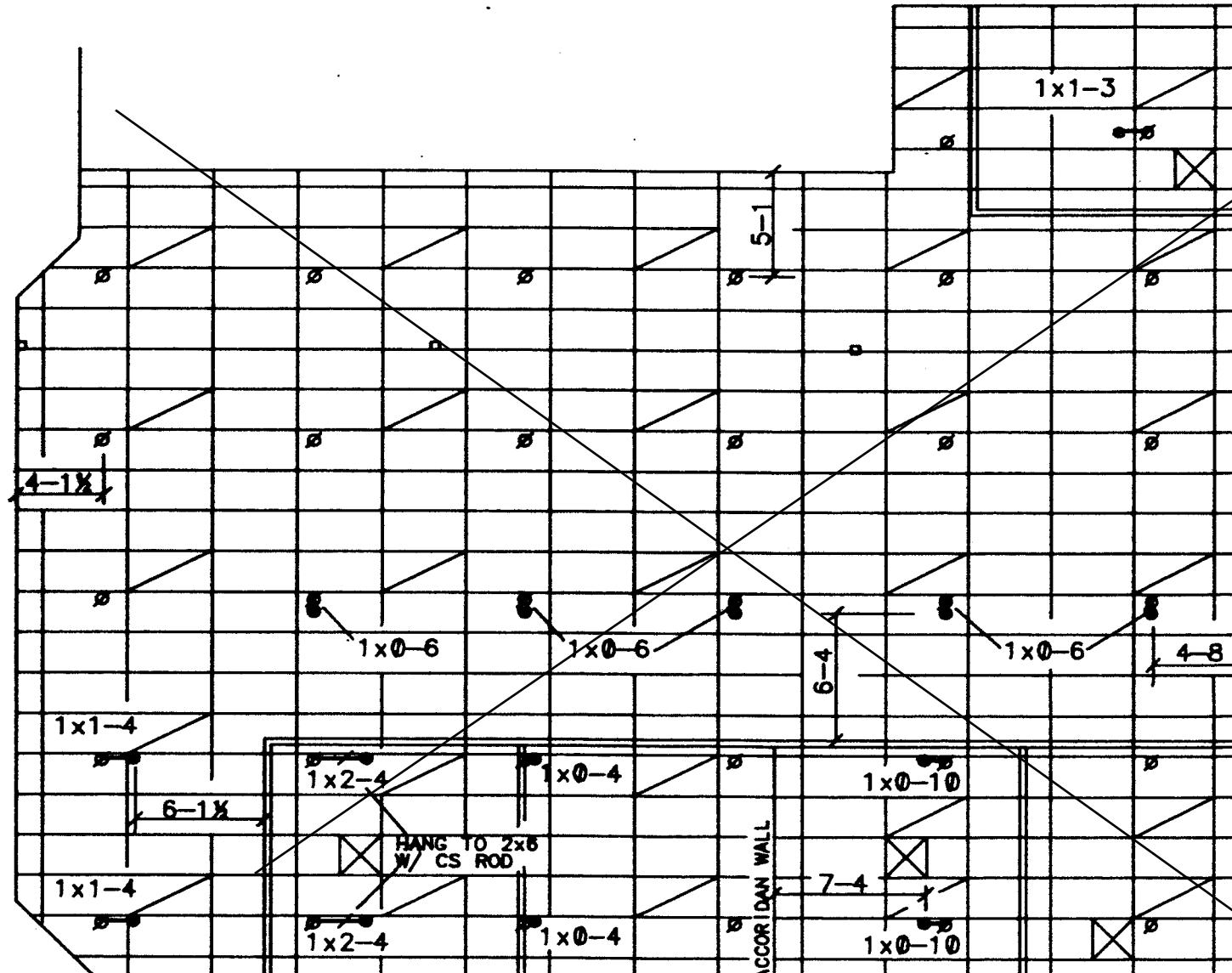
PROJECT NAME: Royal Coachman
6450 So Ctr Blvd.
Tukwila WA

PATRIOT FIRE PROTECTION
2004-A 48TH AVE SO
TACOMA WA 98424

DESIGNER	DATE	JOB NUMBER
<u>IHS</u>	11-15-91	11-1158



UKWILA FIRE DEPARTMENT
Please call: 575-4407
and give this job
No. 91 S 329
and exact address for shut-
down or restoration approval.



SEATTLE MORTGAGE TENANT

1/8"=1'-0"

6450 SOUTHCENTER BLVD SUITE #106 TUKWILA, WA.

TEGRIS FIRE PROT

14415 SE 128TH STREET	MARCH 1990
RENTON, WA. 98056	JOB #1684A
255-6644	

6450 S.C. Blvd
#106

ACCEPTED

- WITHOUT COMMENTS.
- AS NOTED IN RED
- PER THE ATTACHED LETTER

The drawings affixed hereto have been reviewed and accepted by the City of Tukwila Fire Dept. Additions, deletions or revisions to these drawings after this date will void this acceptance and will require a resubmittal of revised drawings.

Final acceptance is subject to field-inspection by a representative of this department

DATE: 3/14/9 BY: SK 512

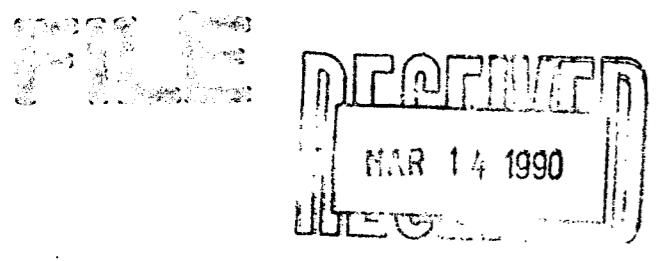
CITY OF TUKWILA
575-4407

TUKWILA FIRE DEPARTMENT

Please call: 575-4407
and give this job

No. 90-0042

and exact address for shut-down or restoration approval.



RECEIVED
#2041

ACCEPTED

Without Comments
 As Noted In Red
 Per The Attached Letter

These plans have been reviewed by The Tukwila Fire Prevention Bureau for conformance with current city standards. Acceptance is subject to errors and omissions which do not authorize violations of adopted standards and ordinances. The responsibility for the adequacy of design rests finally with the designer. Additions, deletions or revisions to these drawings after this date will void this acceptance and will require a resubmittal of revised drawings for subsequent approval.

Final acceptance is subject to field test and inspection by the Tukwila Fire Prevention Bureau.

Date: 12/20/05 By: RESO

SYMBOL LEGEND

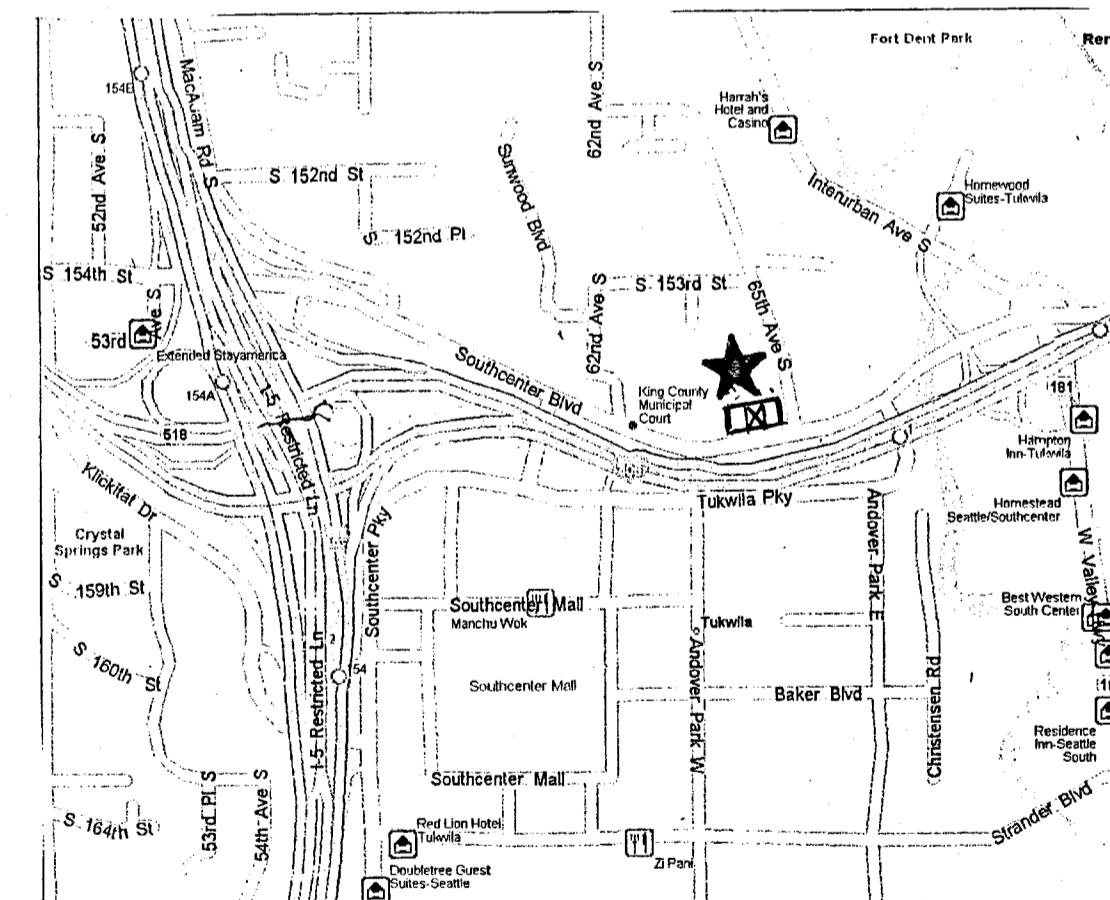
E - EXISTING SEMI-REC. SPRINKLER
 A - NEW SEMI-RECESSED SPRINKLER
 R - RELOCATED EXISTING SEMI-REC. SPRINKLER
 S - EXISTING WALL
 - NEW WALL

FILE

SEE SHEETS 14 AND 16-18 FOR
 UPDATED PLAN

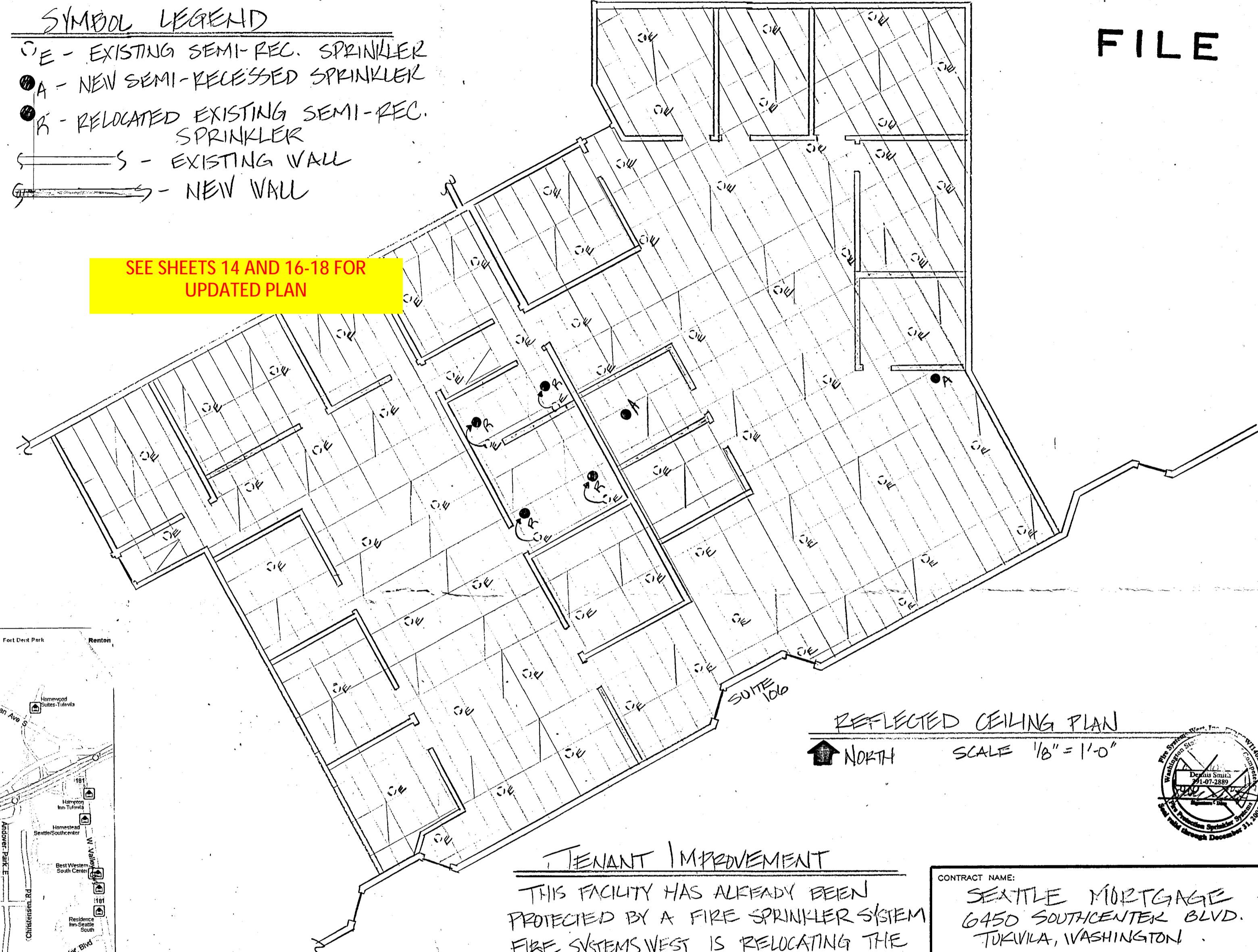
TUKWILA FIRE DEPARTMENT
 Please call: 575-4407
 and give this job

No. 05-S-249
 and exact address for shut-
 down or restoration approval.



NORTH

NO SCALE



TENANT IMPROVEMENT

THIS FACILITY HAS ALREADY BEEN PROTECTED BY A FIRE SPRINKLER SYSTEM. FIRE SYSTEMS WEST IS RELOCATING THE EXISTING SPRINKLERS TO ACCOMMODATE THE NEW WALL AND CEILING LAYOUT. ALL WORK WILL BE COMPLETED WITHOUT AFFECTING THE CAPABILITY OF THE ORIGINAL SPRINKLER SYSTEM DESIGN.

CONTRACT NAME:
SEXTELL MORTGAGE
 6450 SOUTHCENTER BLVD.
 TUKWILA, WASHINGTON

CONTRACT WITH:
KELLY-THOMAS INC.
 26318 ENTWISTLE ROAD EAST
 BUCKLEY, WA. 98321
 PAT KELLY - CELL # 206-786-7479

HANGER LEGEND

A	"U" HOOK	L	"L" ROD	SYMBOL	TYPE	MFG	MODEL	SIZE	TEMP.	FINISH	CANOPY	QUANTITY	MK	DATE	BY	DESCRIPTION
B	COACH SCREW ROD	M	MACHINE THREADED ROD	②	PENDENT	RELIABLE	G	1/2	155	CH2M	REC. CH2M	6	△			
C	"C" CLAMP	N	TOGGLE NUT									1	△			
D	TOP BEAM CLAMP	P	POWDER DRIVEN STUD									1	△			
E	EYE ROD	R	WEDGE ANCHOR									1	△			
F	FLUSH SHELL	T														
G	CEILING FLANGE	U														
H	SIDE BEAM BRACKET	W														
J	"J" BOLT	X														
K	SHORT CLIP	Y														

SPRINKLER HEADS

TOTAL THIS SHEET	6
------------------	---

REVISIONS

APPROVALS REQUIRED	
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GENERAL NOTES

- ALL MATERIAL AND EQUIPMENT TO BE NEW AND UNDERWRITERS APPROVED.
- PIPING DIMENSIONS ARE CENTER TO CENTER EXCEPT RISER & DIMENSIONS SHOWN THUSLY (1-6) WHICH ARE END TO END.
- EARTHQUAKE BRACING SHALL BE PROVIDED IN ACCORDANCE WITH NFPA PAMPHLET NO. 13.
- PIPE HANGERS AND METHOD OF HANGING TO BE IN ACCORDANCE WITH NFPA PAMPHLET NO. 13.
- PIPING SHALL BE IN ACCORDANCE WITH NFPA PAMPHLET NO. 13.
- JOINING OF PIPE AND FITTINGS, THREADED AND WELDED SHALL BE IN ACCORDANCE WITH NFPA PAMPHLET NO. 13.
- OWNER TO PROVIDE ADEQUATE HEAT TO PREVENT WATER IN PIPES FROM FREEZING IN AREAS PROTECTED BY A WET PIPE SPRINKLER SYSTEM.
- STRUCTURAL ADEQUACY OF THE BUILDING TO SUPPORT THE SPRINKLER PIPING IS THE RESPONSIBILITY OF THE OWNER AND/OR HIS STRUCTURAL REPRESENTATIVE.

WA CL #FIRESWI 140B1

WA ECL #FIRESWI 055LW

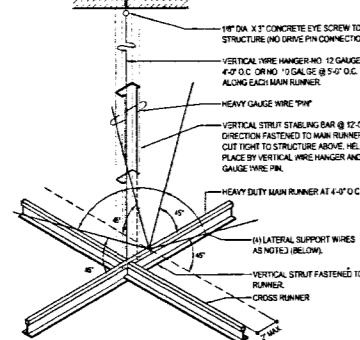
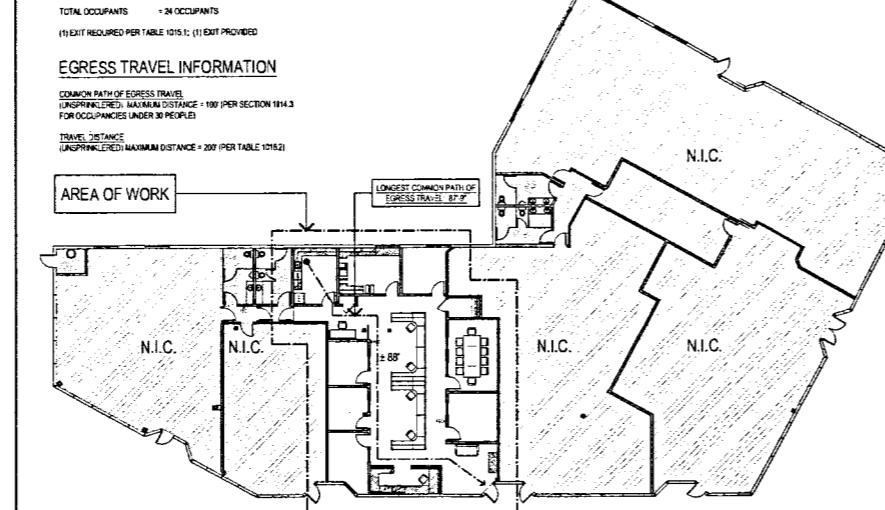
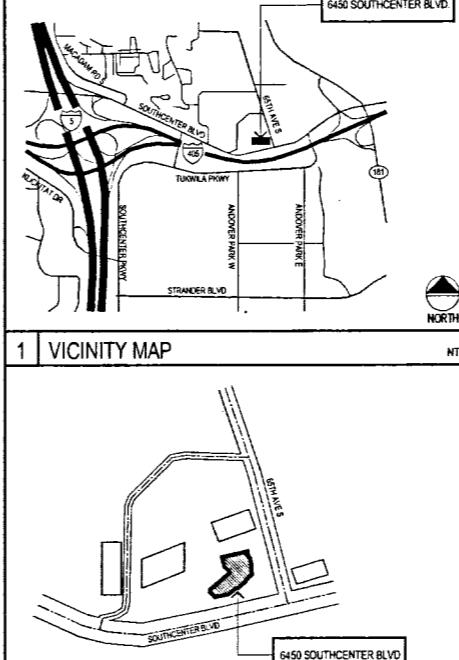
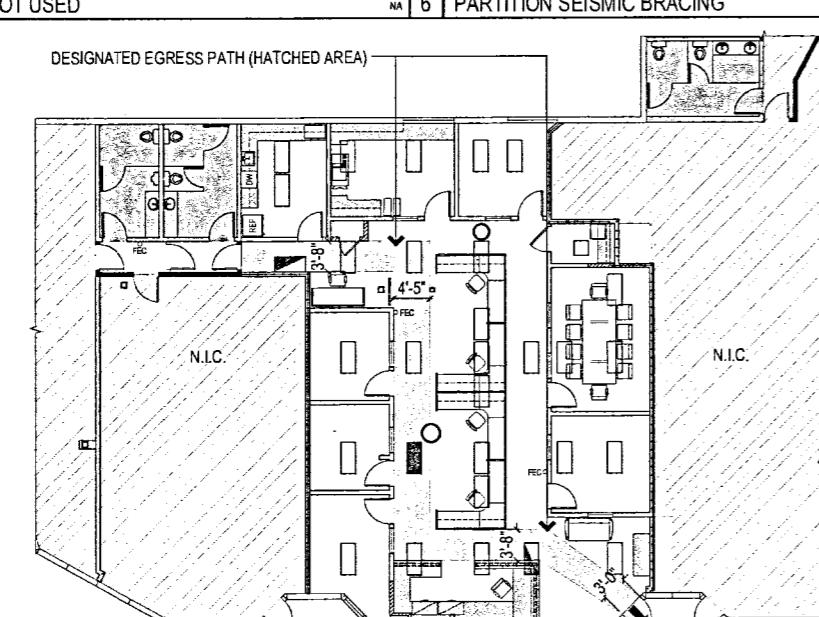
Q.C. FAB BY: / / Q.C. INSTALL BY: / /

DESIGNER DATE JOB NO. SHEET

L. LUNARS 2/16/05 2-11-9426 104

Fire Systems West

219 Frontage Road North, Suite B
 Pacific, WA 98047 DEC 16 2005
 (253) 833-1248 # 23855
 fax (253) 735-0113 Tukwila Fire
 \$150.00

 <p>OCCUPANT LOAD CALCULATION OFFICE SQUARE FOOTAGE: 2,387 SF 1,000 SF PER TABLE 104-2 TOTAL OCCUPANTS: > 24 OCCUPANTS (1) EXIT REQUIRED PER TABLE 101.5.1; (1) EXIT PROVIDED</p> <p>EGRESS TRAVEL INFORMATION COMMON PATH OF EGRESS TRAVEL (UNSPRINKLED): MAXIMUM DISTANCE: 100' (PER SECTION 104.3) FOR OCCUPANCIES UNDER 30 PEOPLE TRAVEL DISTANCE (UNSPRINKLED): MAXIMUM DISTANCE = 200' (PER TABLE 101.5.2)</p> <p>SUSPENDED CEILINGS ARE TO COMPLY WITH FOLLOWING CODES AND REGULATIONS</p> <ol style="list-style-type: none"> 2012 INTERNATIONAL BUILDING CODE (IBC) SECTIONS 103 AND 161.1 PARTIAL BRACING OF EXISTING CEILINGS OR SUSPENDED CEILINGS 1/4" MAX. CLEARANCE FROM CEILINGS TO EXISTING CEILINGS PERIMETER CLOSURE ANGLE (VAL ANGLES) SHALL BE NOT LESS THAN 2.3 INCHES ON TWO ADJACENT SIDES, THE GRID SHALL BE ATTACHED TO THE WALL ANGLE (POWERS) WITH 1/4" OUT OF PLANE. ON THE OTHER TWO SIDES, SHALL HAVE 1/4" INCH CLEARANCE BETWEEN THE ENDS OF THE GRID AND THE WALL STABILIZER BARS ARE REQUIRED TO PREVENT THE SPREAD OF MAIN BEAMS ANGLED CROSSES SPRAY WIRE SUPPORT (TALL WIRES ARE REQUIRED WITHIN EIGHT INCHES OF THE WALL FOR ALL EDGES) VERTICAL HANGERS SHALL BE 12 GAUGE WIRE SPACED 12 FEET ON CENTER OR IN 4' O.C. DRILLED HANGERS ARE TO BE USED FOR CEILINGS OVER 2,000 SF. HANGERS ARE REQUIRED WITHIN 1/4 OUT OF PLANE. SPRAY WIRE SUPPORTS ARE PROVIDED. LATERAL BRACING IS REQUIRED. SPRAY WIRE POOLS AT 12 MAX. O.C. AND 6 MAX. FROM WALLS. A STRUT FASTENED TO THE MAIN RUNNER SHALL BE EXTENDED TO AND FASTENED TO THE CEILING GRID. CEILINGS OVER 2,000 SQUARE FEET MUST HAVE SEISMIC SEPARATION JOINTS OR FULL HEIGHT PARTITION THAT BREAKS THE CEILING UP INTO AREAS NOT EXCEEDING 2,000 SQUARE FEET FOR CEILINGS WITHOUT GRID BRACING, SPRINKLER HEAD AND OTHER PENETRATIONS SHALL HAVE A 2-INCH OVERSIZE RING, SLEEVE, OR ADAPTER THROUGH THE CEILING TIE. TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1-INCH IN ALL HORIZONTAL DIRECTIONS OR SPRAY WIRE SUPPORTS ARE PROVIDED. CHANGES IN CEILING PLAN ELEVATION SHALL BE PROVIDED WITH POSITIVE BRACING. CABLE TRAYS AND ELECTRICAL CONDUITS SHALL BE SUPPORTED INDEPENDENTLY OF THE CEILING GRID ALL WIRES TO BE THREE TIGHT TURNS AROUND ITSELF WITHIN THREE INCHES. TWELVE GAUGE HANGER WIRES SPACED 4' O.C. 	<p>AREA OF WORK</p>  <p>6450 SOUTHCENTER BLVD EXISTING (1) STORY OFFICE BUILDING</p> <p>NO CHANGE TO BUILDING AREA NO EXTERIOR WORK NO STRUCTURAL WORK NO CHANGE IN USE / OCCUPANCY</p>	<p>6450 SOUTHCENTER BLVD</p> <p>1 VICINITY MAP</p>  <p>6450 SOUTHCENTER BLVD</p>	<p>SCOPE OF WORK</p> <ul style="list-style-type: none"> INTERIOR TENANT IMPROVEMENT TO EXISTING OFFICE SPACE IN AN EXISTING BUILDING TO INCLUDE: <ul style="list-style-type: none"> DEMOLITION OF PARTITIONS, DOORS, AND RELETS REMOVAL OF FINISHES CONSTRUCTION OF PARTITIONS AND DOORS CONSTRUCTION OF CASEWORK INSTALLATION OF NEW FINISHES UPGRADE TO ENERGY EFFICIENT LIGHTING NO STRUCTURAL WORK NO ALTERATIONS OF CORE <p>AREA OF SITE: 2,387 SF</p> <p>AREA OF FLOOR: 15,000 SF</p> <p>OCCUPANCY TYPE: BARRED USE OFFICE</p> <p>CONSTRUCTION TYPE: 1A FULLY SPRINKLERED</p> <p>APPLICABLE CODES: <ul style="list-style-type: none"> 2012 INTERNATIONAL BUILDING CODE 2012 INTERNATIONAL FIRE CODE 2012 INTERNATIONAL PLUMBING CODE 2012 INTERNATIONAL MECHANICAL CODE 2012 NATIONAL ELECTRICAL CODE ICCANSI 171-11: ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES 2012 WASHINGTON STATE ENERGY CODE (WSEC) WASHINGTON INDOOR AIR QUALITY CODE </p> <p>ASSESSOR'S PARCEL # 000325-0011</p> <p>LEGAL DESCRIPTION: <p>GILLIAM W H C # 40 POR OF DC LY & MLY OF CO RD 462 & 657 AVES & MLY OF ST HWY 1-1 POR VIC MACADAM RD ADJUTOR FOR DAF 18610N CLO SOUTH CENTER BLVD & MLY OF SECT ELY & MLY OF SD RD 4543.63 FT N IN SD 4542.2723 FT TH 65-SD-046-165 FT ML TO MLY MUN 65TH ST SELY ALB SD MLY MUN TO MUN OF MACADAM RD TH MLY ALG SD MLY MUN 260 FT ML TO PT 535-14-00W PT 535-14-00W PT 535-14-00W PT 535-14-00W</p> </p> <p>FILE 14-3-038</p>								
<p>2 CEILING SUPPORT DATA</p>	<p>3 KEY PLAN, EXITING, AND EGRESS INFORMATION</p>	<p>4 SITE PLAN</p>	<p>PROJECT DIRECTORY</p> <table border="1"> <tr> <td>TENANT: OFFICE TENANT CONTACT INFORMATION: UNAVAILABLE</td> <td>BUILDING REPRESENTATIVE: THE ANDOVER COMPANY 415 SAVAGE ROAD, SUITE 200 TUKWILA, WASHINGTON 98188 CONTACT: MIKE HEPPLER TELEPHONE: (206) 244-4270 FAX: (206) 244-3229 EMAIL: mheppler@andover.com</td> </tr> <tr> <td>DESIGNER: MARTIN STEIN ASSOCIATES, LLC 1000 WHALE AVE N SUITE ONE SEATTLE, WASHINGTON 98139 CONTACT: ERIN COGDEL TELEPHONE: (206) 441-1449 EMAIL: e cogdel@steinassociates.com</td> <td>CONTRACTOR: EDO</td> </tr> </table>	TENANT: OFFICE TENANT CONTACT INFORMATION: UNAVAILABLE	BUILDING REPRESENTATIVE: THE ANDOVER COMPANY 415 SAVAGE ROAD, SUITE 200 TUKWILA, WASHINGTON 98188 CONTACT: MIKE HEPPLER TELEPHONE: (206) 244-4270 FAX: (206) 244-3229 EMAIL: mheppler@andover.com	DESIGNER: MARTIN STEIN ASSOCIATES, LLC 1000 WHALE AVE N SUITE ONE SEATTLE, WASHINGTON 98139 CONTACT: ERIN COGDEL TELEPHONE: (206) 441-1449 EMAIL: e cogdel@steinassociates.com	CONTRACTOR: EDO				
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<p>5 NOT USED</p>	<p>6 PARTITION SEISMIC BRACING</p>	<p>GENERAL NOTES</p> <ol style="list-style-type: none"> 1. COMPLY WITH ALL APPLICABLE CODES. 2. THE GENERAL CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY THE FIELD CONDITIONS PRIOR TO PURCHASING MATERIALS OR COMMENCING THE WORK. 3. REPORT ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND DRAWINGS TO ARCHITECT BEFORE PROCEEDING WITH THE WORK. 4. VERIFY THE BUILDING STANDARDS (BS) BEFORE PROCEEDING WITH THE WORK. 5. OBTAIN ALL REQUIRED PERMITS AND APPROVALS BEFORE PROCEEDING WITH THE WORK. 6. WALLS, PARTITIONS AND CEILINGS SHALL BE INDEPENDENTLY BRACED TO RESIST SEISMIC FORCES. 7. PROVIDE BRACING AT ALL WALL MOUNTED ITEMS. 8. AVOID ANGLED TRANSITIONS BETWEEN OLD AND NEW CONDITIONS. 9. LEVEL THE FLOOR DEVIATIONS OF 1/12" WITHIN 10'7" IS THE ACCEPTABLE LIMIT. 10. GENERAL CONTRACTOR REVIEW AND STAMP ON MARK REQUIRED SUBMITTALS AND SHOP DRAWINGS PRIOR TO SENDING COPIES TO MSA FOR REVIEW AND COMMENT. 11. THE BUILDING OWNER OR THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL ESTABLISH WORKING TIME AND STANDARDS OF CONDUCT. 12. DO NOT DRAW STURM. 13. THE GENERAL CONTRACTOR SHALL COORDINATE THE ACTIVITIES OF ALL SUBCONTRACTORS, DELIVERY, AND THE STAGING OF MATERIALS. 14. GENERAL CONTRACTOR SHALL NOT START CASEWORK UNTIL CONFERENCE / COPY / BREAK / WORK ROOM CASEWORK SHOP DRAWINGS HAVE BEEN REVIEWED BY MSA. 	<p>MSA 1000 WHALE AVE N SUITE ONE, SEATTLE WA 98109 (206) 441-1449</p> <table border="1"> <tr> <td>DRAWN BY: DA</td> </tr> <tr> <td>CHECKED BY: EG</td> </tr> <tr> <td>JOB NO.: 08029.006</td> </tr> <tr> <td>NO. REVISIONS INDICATED THIS □ DATE BY</td> </tr> <tr> <td>ISSUED FOR REVIEW 12/3/13 EG</td> </tr> <tr> <td>ISSUED FOR PERMIT 12/12/13 EG</td> </tr> <tr> <td>FINISH PLAN REVISIONS 12/17/13 EG</td> </tr> <tr> <td>▲ ELEVATIONS & DETAILS 12/30/13 EG</td> </tr> </table>	DRAWN BY: DA	CHECKED BY: EG	JOB NO.: 08029.006	NO. REVISIONS INDICATED THIS □ DATE BY	ISSUED FOR REVIEW 12/3/13 EG	ISSUED FOR PERMIT 12/12/13 EG	FINISH PLAN REVISIONS 12/17/13 EG	▲ ELEVATIONS & DETAILS 12/30/13 EG
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FINISH PLAN REVISIONS 12/17/13 EG											
▲ ELEVATIONS & DETAILS 12/30/13 EG											
<p>DESIGNATED EGRESS PATH (HATCHED AREA)</p>  <p>NOTE: MAINTAIN EXISTING ONE FOOT CANDELA PER SQUARE FOOT AT EGRESS PATHWAY LIGHTING. EXISTING 2X4 RECESSED FLUORESCENT LIGHT FIXTURES TO BE UPGRADED FOR EMERGENCY LIGHTING. LAYOUT SHOWN IS CONCEPTUAL ONLY. EXISTING 2X4 RECESSED FLUORESCENT LIGHT FIXTURES CURRENTLY USED FOR EMERGENCY LIGHTING TO REMAIN. LAYOUT SHOWN IS CONCEPTUAL ONLY.</p>	<p>STUD SCHEDULE</p> <p>STUD SCHEDULE: 2 1/2" = 250/12-27 (22 GA) MAX 10'-0" = 250/12-27 (22 GA) MAX 3-98" = 250/12-27 (22 GA) MAX 12'-0" = 250/12-27 (22 GA) MAX 6" = 650/12-27 (22 GA) MAX 17'-0" = 650/12-27 (22 GA) MAX</p> <p>NOTES: 1. ALL STUDS ARE AT 16" O.C. 2. USE SAME GAUGE AS STUDS FOR TRUSS CLOSER. 3. USE SAMA TECHNICAL GUIDES.</p>	<p>7 STANDARD TENANT PARTITION</p> <p>1-12" = 14"</p> <p>8 ABBREVIATIONS</p> <p>SHEET INDEX</p> <p>TI-1 COVER SHEET TI-2 DEMOLITION & CONSTRUCTION PLAN TI-3 REFLECTED CEILING PLAN TI-4 POWER/COMMUNICATIONS & FINISH PLAN TI-5 ELEVATIONS & DETAILS TI-6 DETAILS</p>	<p>MECHANICAL, PLUMBING, FIRE PROTECTION AND LIFE SAFETY NOTES</p> <ol style="list-style-type: none"> 1. MECHANICAL, FIRE PROTECTION AND LIFE SAFETY ALTERATIONS AND CONSTRUCTION ARE BY OTHERS, UNDER SEPARATE PERMITS BY DESIGN-BUILD CONTRACTORS. DEFERRED SUBMITTALS. 2. REBALANCE THE HVAC SYSTEM AND PROVIDE WRITTEN REPORT TO OWNER AND/OR ARCHITECT. 3. CLEAN ALL DIFFUSERS & ORIFICES. 4. VERIFY LOCATION OF THERMISTORS WITH OWNER OR ARCHITECT PRIOR TO FINAL INSTALLATION. 5. ALL CONSTRUCTION WORK IS CONFINED TO THE BUILDING INTERIOR. CONTRACTOR SHALL PROVIDE BARRIERS OR SYSTEMS TO CONTAIN DUST, DIRT OR DEBRIS TO MINIMIZE INCONVENIENCE TO OTHER TENANTS WITHIN THE BUILDING. 6. CONSTRUCTION OPERATIONS SHALL NOT OBSTRUCT HALLWAYS, CORRIDORS, STAIRWAYS OR MEANS OF EGRESS FOR THE TENANTS OR THE BUILDING. 7. DO NOT DISrupt HVAC, PLUMBING, ELECTRICAL, OR FIRE PROTECTION SYSTEMS WITHOUT PRIOR AUTHORIZATION FROM OWNER. 8. THE CONSTRUCTION SITE SHALL BE LEFT CLEAN & ORDERLY AT THE END OF EACH WORK DAY. 9. NO ONE WILL OCCUPY THE AREA OF WORK OTHER THAN AUTHORIZED CONSTRUCTION PERSONNEL. 10. THE GENERAL CONTRACTOR OR SHALL PROVIDE TEMPORARY CONSTRUCTION BARRIERS TO INHIBIT ACCESS BY NON AUTHORIZED PERSONNEL & AS REQUIRED BY OSHA STANDARDS TO PREVENT INJURIES OR ACCIDENTS. 11. IF F.P. & I.F.C. APPROVED FIRE EXTINGUISHERS SHALL BE LOCATED WITHIN 75 FEET FROM ANY POINT ALONG THE PATH OF TENANT EGRESS OR AS REQUIRED BY THE LOCAL FIRE MARSHAL. 12. THE SPACE AROUND PIPES, DUCTS, ETC. PENETRATING FIRE RESISTANT CONSTRUCTION SHALL NOT EXCEED 12" & SHALL BE PACKED SOLID WITH APPROVED FIRE SAFING MATERIAL & SEALED WITH METAL EQUITONE EACH SIDE AS REQUIRED BY CODE. 13. MAINTAIN INTEGRITY OF RATED ASSEMBLIES AND REPAIR ANY DAMAGE TO SPRAY APPLIED FIRE PROOFING. <p>OFFICE TENANT</p> <p>SHEET TITLE:</p> <p>COVER SHEET</p>								
<p>Units: INCHES Drawing 1-12" = 14" Scale: 1/8" = 1'-0" Drawing 1-12" = 14" Scale: 1/8" = 1'-0" Drawing 1-12" = 14" Scale: 1/8" = 1'-0"</p> <p>9 EGRESS PLAN</p>	<p>1/8" = 1'-0"</p> <p>10 PARTIAL HEIGHT PARTITION</p> <p>1/8" = 1'-0"</p> <p>11 SHEET INDEX</p> <p>NA</p>	<p>12 PROJECT INFORMATION</p> <p>NA</p>	<p>TI-1</p> <p>REPRODUCTION, ALTERATION OR PUBLICATION OF THIS DRAWING, WITHOUT EXPRESSED PERMISSION BY MSA, IS A VIOLATION OF FEDERAL COPYRIGHT LAW. COPYRIGHT BY MSA 2013. OF 6</p>								

6450 SC 3rd, #107

PAID
FEB 28 2014

22951
\$100

ACCEPTED

Without Comments
 As Noted in Red
 Per The Attached Letter

These plans have been reviewed by The Tukwila Fire Prevention Bureau for conformance with current City standards. Acceptance is subject to errors and omissions which do not authorize violations of adopted standards and ordinances. The responsibility for the adequacy of design rests totally with the designer. Additions, deletions or revisions to these drawings after this date will void this acceptance and will require a resubmittal of revised drawings for subsequent approval.

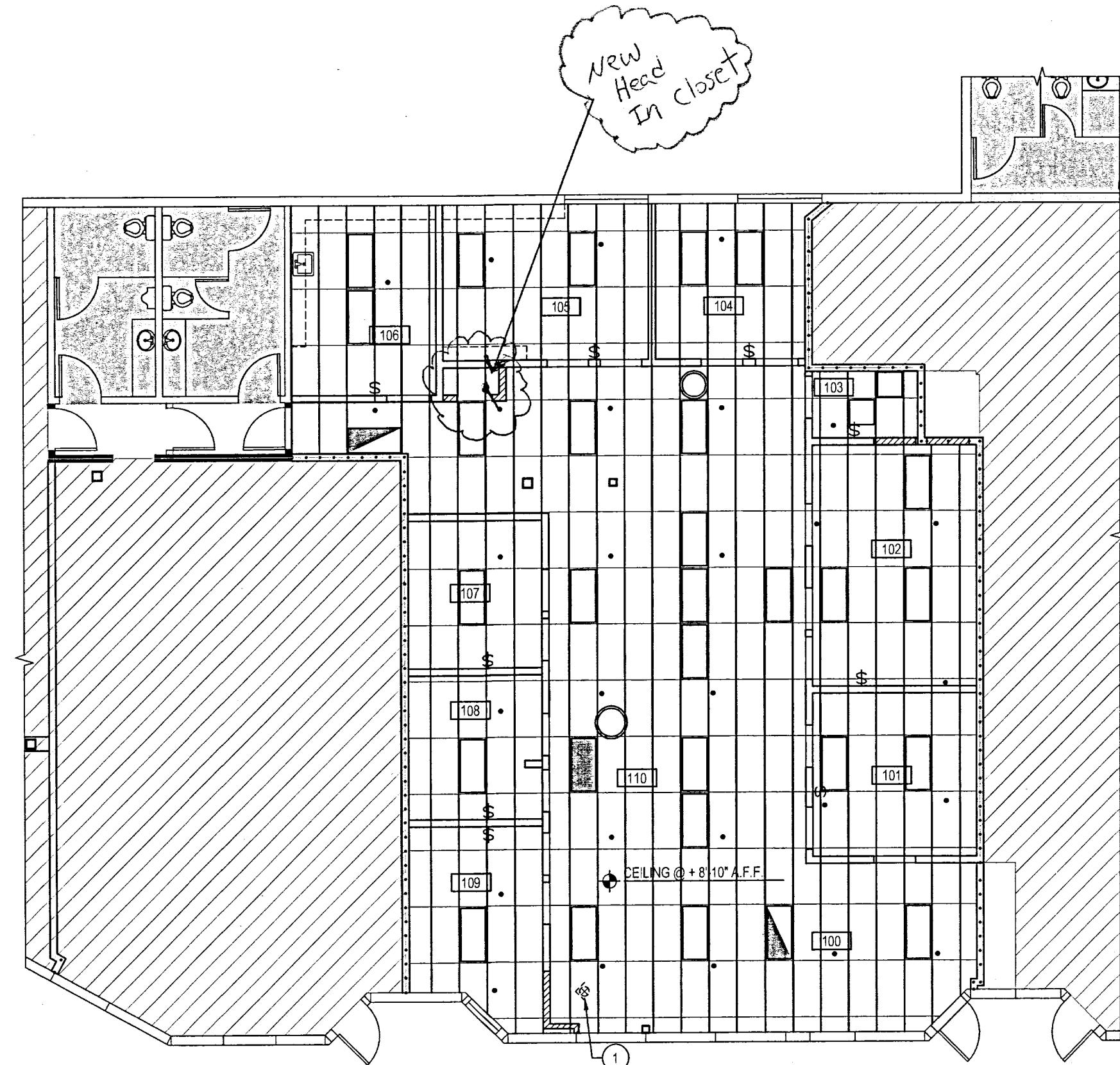
Final acceptance is subject to field test and inspection by The Tukwila Fire Prevention Bureau.

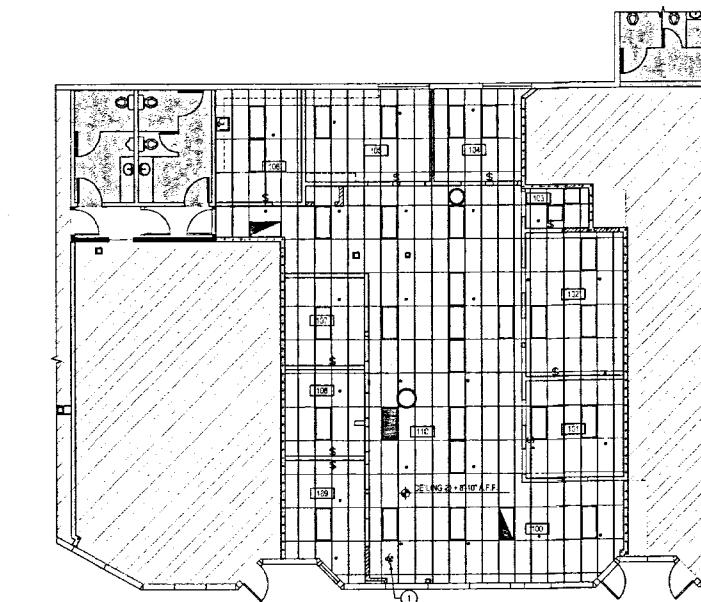
Date: 3-3-14 By: Am 511

TUKWILA FIRE DEPARTMENT
Please call 206-575-4407 and
give this Fire Permit No.

14-S-038

and exact address for shut-
down or restoration approval.





① FIRST FLOOR REFLECTED CEILING PLAN
10' x 10'

REFLECTED CEILING LEGEND

- EXISTING CEILING GRID AND TILES TO REMAIN
- EXISTING FIXTURES TO BE UPGRADED TO DIRECT/INDIRECT FIXTURES. SPEC: LITHONIA ALAVANT OR APPROVED EQUAL
- EXISTING 2'X2' RECESSED FLUORESCENT LIGHT FIXTURE LOCATION CURRENTLY BEING USED AS EMERGENCY LIGHTING. LAYOUT SHOWN IS CONCEPTUAL ONLY
- EXISTING 2'X2' RECESSED FLUORESCENT LIGHT FIXTURE TO BE UPGRADED FOR EMERGENCY LIGHTING LAYOUT SHOWN IS CONCEPTUAL ONLY
- EXISTING SKYLIGHT TO REMAIN
- EXISTING 85 ILLUMINATED EXIT SIGN (DIRECTIONAL WHERE SHOWN)
- EXISTING 85 LIGHT SWITCH
- EXISTING SPRINKLER HEAD (SHOWN FOR REFERENCE ONLY. PERMIT BY OTHERS)

6450 SOUTHCENTER

6450 SOUTHCENTER BOULEVARD
SUITE 107
TUKWILA, WASHINGTON 98188

REFLECTED CEILING KEYNOTES

- ① REMOVE EXISTING ILLUMINATED EXIT SIGN. REPLACE CEILING TILES AS NEEDED

REFLECTED CEILING NOTES

1. CHECK FOR CONFLICTS BEFORE INSTALLING OR RELOCATING LIGHT FIXTURES. NOTIFY MSA OF ANY CONFLICT(S).
2. REPLACE DAMAGED CEILING TILES AND GRID AS NECESSARY TO BRING CEILING TO "LIKE NEW" CONDITION.
3. MAINTAIN EXISTING ONE FOOT CANDLE PER SQUARE FOOT AT EXPRESS PATHWAY LIGHTING.
4. MAINTAIN 42" CLEAR SPACE IN FRONT OF THE PANEL SIDE OF ANY VAV BOXES.
5. DAY/LIGHT ZONE CONTROL: DAY LIGHTING AS DEFINED BY CODE SHALL BE PROVIDED WITH INDIVIDUAL CONTROLS, OR DAY/LIGHT OR OCCUPANT SENSING AUTOMATIC CONTROLS PER SECTION C405.2.3 OF THE 2012 WASHINGTON STATE ENERGY CODE.
6. FIRE SPRINKLERS BY OTHERS UNDER DEFERRED SUBMITTALS.
7. COMMISSIONING REQUIREMENTS: TEST LIGHTING CONTROLS TO ENSURE THAT THE SYSTEMS COMPLY WITH CODES. PROVIDE A WRITTEN REPORT OF TEST PROCEDURES AND RESULTS TO THE OWNER. SWEEP CONTROLLERS ARE NOT BUILDING STANDARD. USE OCCUPANCY SENSORS AS REQUIRED.
8. EXIT SIGNS ARE INDICATED ON THE REFLECTED CEILING PLAN. THEIR PLACEMENT IS BASED UPON EXISTING CONDITION SURVEY. FINAL NUMBER OF SIGNS, THEIR PLACEMENT AND ARROW DIRECTIONS SHALL BE FIELD VERIFIED WITH THE BUILDING OFFICIAL, CONTRACTOR AND ARCHITECT.
9. HVAC CONTRACTOR TO VERIFY THAT ENTIRE SUITE IS A SINGLE ZONE.
10. VERIFY THAT CIRCUIT(S) FOR THIS SUITE(S) ARE CONTROLLED BY SWITCHES WITHIN SUITE AND NOT ASSOCIATED WITH ADJACENT SUITES CIRCUITS AND OR SWITCHING.

LIGHTING CALCULATION

GRID CEILING @ 8'x10' STAFF		
WATT/FIXTURE	# OF FIXTURES	TOTAL WATTS
100	30	1,800
25	2	50
TOTAL: 1,850 WATTS EXISTING TO REMAIN		

2,397 TOTAL SF x .8 WATTS PER SF = 1,917.6 ALLOWABLE WATTS
TOTAL EXISTING WATTAGE IS 1,726 - WHICH IS LESS THAN THE
ALLOWABLE WATTAGE PER 2012 WSECO INTERIOR LIGHTING POWER
C405.3.2 (TABLE C405.3.2)

MSA
MARTIN STEIN ASSOCIATES

1500 WESTLAKE AVE N SUITE ONE SEATTLE WA 98109 (206) 465-1449

DRAWN BY: DA

CHECKED BY: EG

JOB NO.: 08029.006

NO.	REVISIONS INDICATED THIS	DATE	BY
	ISSUED FOR REVIEW	12/3/13	EG
	ISSUED FOR PERMIT	12/12/13	EG
	FINISH PLAN REVISIONS	12/17/13	EG
	ELEVATIONS & DETAILS	12/30/13	EG

TENANT:

OFFICE TENANT

Sheet Title:

REFLECTED CEILING PLAN

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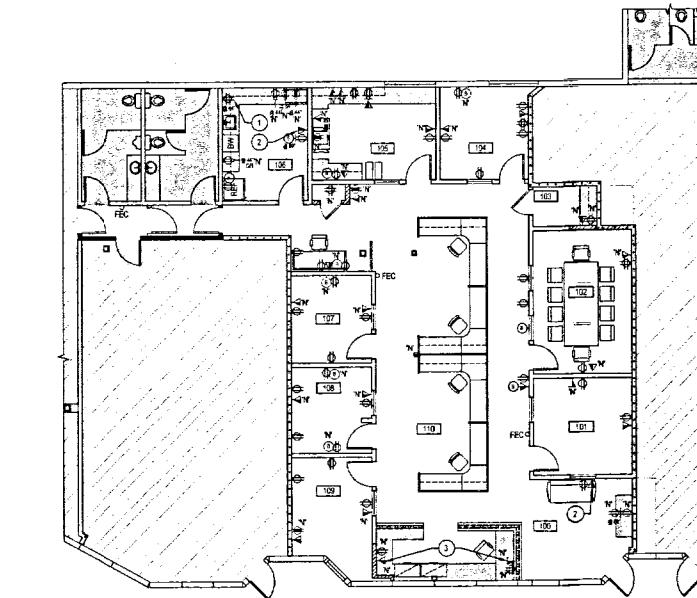
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OF 6

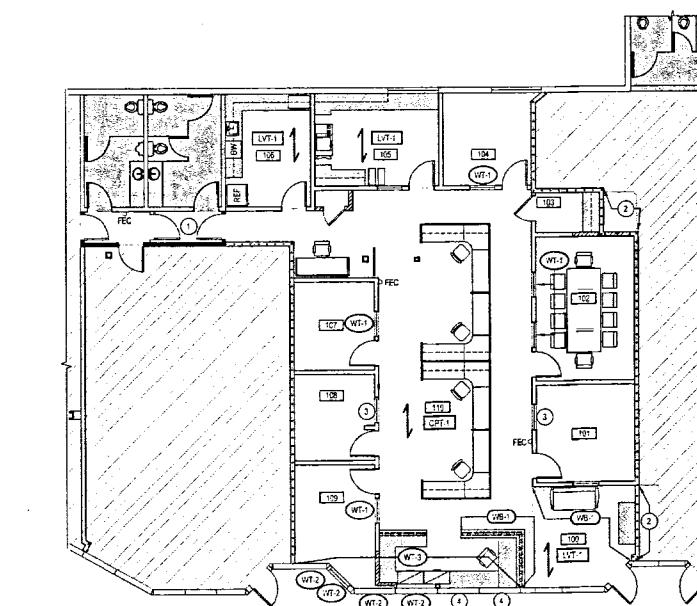


0' 5' 10' 20' 30'

NORTH



1 FIRST FLOOR POWER/COMMUNICATIONS PLAN
1/8" = 1'-0"



2 FIRST FLOOR FINISH PLAN
1/8" = 1'-0"

FINISH SCHEDULE						
SYMBOL/NO.	DESCRIPTION	MANUFACTURER	STYLE	COLOR / FINISH	SIZE	EST. LEAD TIMES
OPT-1	BROADLOOM CARPET	SHAW CONTRACT	OUTLINE SANIT	STOES	-	1-2 WEEKS
LV-1	LUXURY VINYL TILE	KARRIEAN	OPUS	ARGEN MP114	-	WHERE NOTED
PL-1	PLASTIC LAMINATE	WILSONART	CONTRACT COLLECTION	7122-07 EMPIRE HICKORY	-	CASEWORK, VERTICAL SURFACES, U.N.O.
PL-2	PLASTIC LAMINATE	PIONITE	SURGE	ADG21 SABLE	-	CASEWORK, HORIZ. SURFACES, U.N.O.
PL-3	PLASTIC LAMINATE	WILSONART	METALS	6277 ALUMATEEL	-	FULL HEIGHT BACKSPLASH, WHERE NOTED
PL-4	PLASTIC LAMINATE	FORNICA	GLOSS	PEARL 304-BB	-	CASEWORK, VERTICAL SURFACES, WHERE NOTED
SS-1	SOLID SURFACE	PENTAL QUARTZ	POLISHED	9010P- OYSTER	3/4" SLAB	TBD
P-1	PAINT, GENERAL	SHERWIN WILLIAMS	EGGHELL	WHITE	-	GAB WALLS, TYP. U.N.O.
P-2	PAINT, ACCENT	SHERWIN WILLIAMS	EGGHELL	WHITE KEYSTONE	-	GAB WALLS, WHERE NOTED
P-3	PAINT, ACCENT	SHERWIN WILLIAMS	EGGHELL	SW 7020 BLACK FOX	-	GAB WALL, WHERE NOTED
P-4	PAINT, WOOD BASE	SHERWIN WILLIAMS	SEAGLOSS	SW 7020 BLACK FOX	-	WOOD BASE
B-1	RUBBER BASE	JOHNSONITE	STRAIGHT ROLLED	40 BLACK	4" H	-
WT-1	WOOD BASE	TBD	PANTP-4	4" H	TBD	WHERE NOTED
WT-1	WINDOW TREATMENT	B/S	B/S	MATCH EXISTING	TBD	MIN-BLINDS, VERIFY WIDTH
WT-2	WINDOW TREATMENT	B/S	B/S	MATCH EXISTING	TBD	SUNSHADES, VERIFY WIDTH
WT-3	WINDOW TREATMENT	3M FILM	OPAQUE	FILL LOWER PANELS	TBD	WINDOW FILM

ELEC / COMMUNICATIONS LEGEND

- ① BIS WALL MOUNTED DUPLEX ELECTRICAL OUTLET
- ② BIS WALL MOUNTED DEDICATED 120 V 20A FOURPLEX ELECTRICAL OUTLET
- ③ BIS WALL MOUNTED FOURPLEX ELECTRICAL OUTLET
- ④ BIS WALL MOUNTED COMBINATION VOICEDATA OUTLET
- ⑤ BLANK FACE PLATE
- FLOOR POLE. VERIFY EXACT LOCATION AND REQUIREMENTS WITH TENANT'S FURNITURE VENDOR. CONNECT TO EXISTING FLOOR POWER & COMMUNICATIONS SUPPLY
- △ NEW

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SUITE 107
TUKWILA, WASHINGTON 98188

ELEC / COMMUNICATIONS NOTES

1. ALL ELECTRICAL OUTLETS TO BE MOUNTED AT 18" A.F.F. (AT BASE OF OUTLET) PER W.S.B.C. REQUIREMENTS U.N.O.
2. ROUGH IN ALL DATA AND COMMUNICATION LINES - MUD HING WITH PULL STRING, U.N.O.
3. PROVIDE NEW COVER PLATES AND RECEPTACLES AS NEEDED TO MATCH BUILDING STANDARD.
4. MAINTAIN EXISTING ELECTRICAL OUTLETS UNLESS LOCATION CONFLICTS WITH NEW CONSTRUCTION.
5. THE CONTRACTOR SHALL COORDINATE ELECTRICAL, LIGHTING, CASEWORK AND FURNITURE.

ELEC / COMMUNICATIONS KEYNOTES

- ① VERIFY EXISTING ELECTRICAL OUTLET IS OR: UPGRADE IF NECESSARY.
- ② UPGRADE DATA PORT TO SUPPORT COURTESY TELEPHONE LINE AS NEEDED
- ③ 4 DATA PORT CONNECTIONS AT THIS OUTLET

MSA
MARTIN STEIN ASSOCIATES
1348 WESTLAKE AVE N, SUITE ONE, SEATTLE WA 98109 (206) 441-1149

DRAWN BY: DA

CHECKED BY: EG

JOB NO.: 08029.006

NO.	REVISIONS INDICATED	THUS △	DATE	BY
	ISSUED FOR REVIEW		12/3/13	EG
	ISSUED FOR PERMIT		12/12/13	EG
	FINISH PLAN REVISIONS		12/17/13	EG
△	ELEVATIONS & DETAILS		12/30/13	EG

FINISH NOTES

1. ALL WALLS TO RECEIVE (P-1) U.N.O.
2. ALL ROOMS TO RECEIVE (OPT-1) U.N.O.
3. BASE (B-1) TO BE USED THROUGHOUT, U.N.O.
4. PROVIDE (3) SAMPLES OF EVERY FINISH ITEM TO MSA FOR APPROVAL PRIOR TO INSTALLATION.
5. PROVIDE JOHNSONITE "TELECARPET ADAPTER CTA103C" (OR SIMILAR) IN COLOR (B-10) TO MATCH B-1 AT ALL CARPET TO LVT FLOORING TRANSITIONS.

FINISH KEYNOTES

- ① EXISTING FINISHES TO REMAIN IN THIS AREA.
- ② PATCH FINISHES THIS SIDE OF WALL AS REQUIRED AT AREA OF WORK TO MATCH EXISTING ADJACENT (NOTE: THIS IS TO BE PRICED SEPARATELY, NOT PART OF TENANT'S SITE).
- ③ EXISTING MINI-BLINDS TO REMAIN.
- ④ EXISTING FULL-DOWN SUN-SHADE TO REMAIN.

TENANT:

OFFICE TENANT

SHET TITLE:
POWER/COMMUNICATIONS
& FINISH PLAN



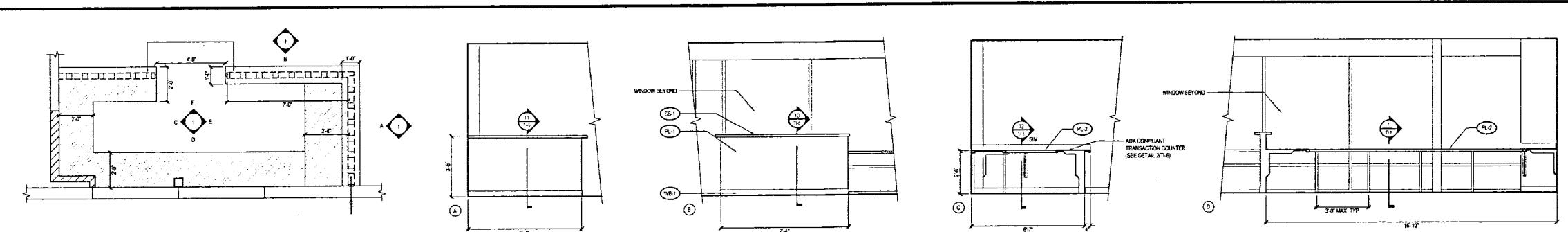
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0 5' 10' 20' 30'

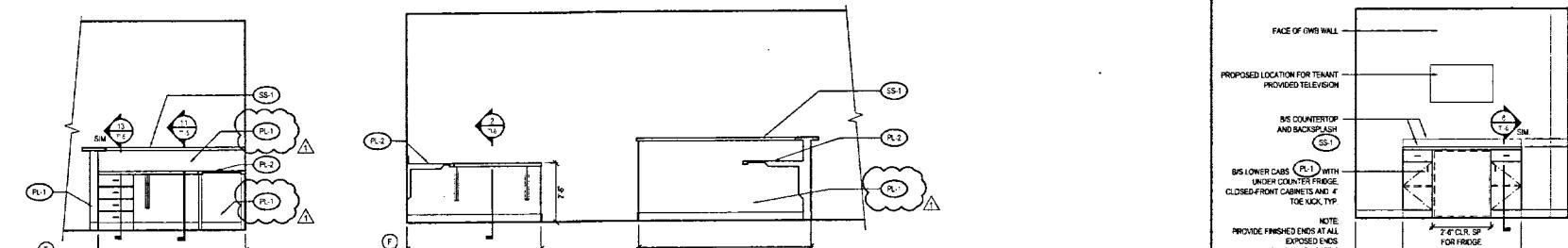
OF 6



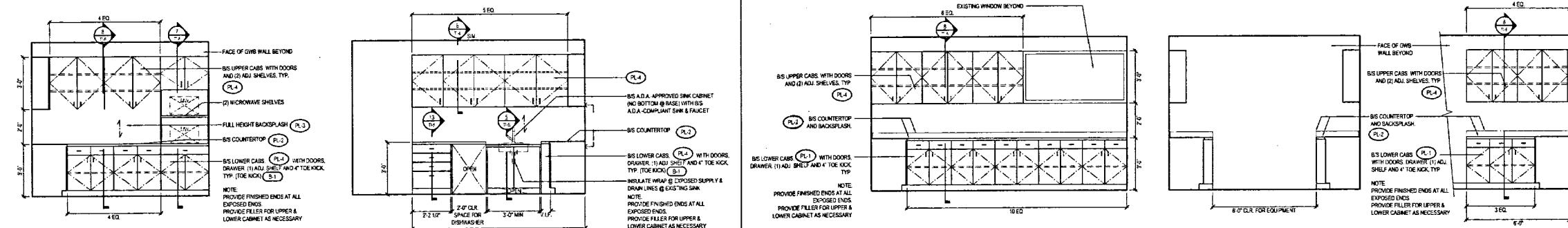
6450 SOUTHCENTER

6450 SOUTHCENTER BOULEVARD
SUITE 107
TUKWILA, WASHINGTON 98188

1 RECEPTION 100 DESK ELEVATIONS



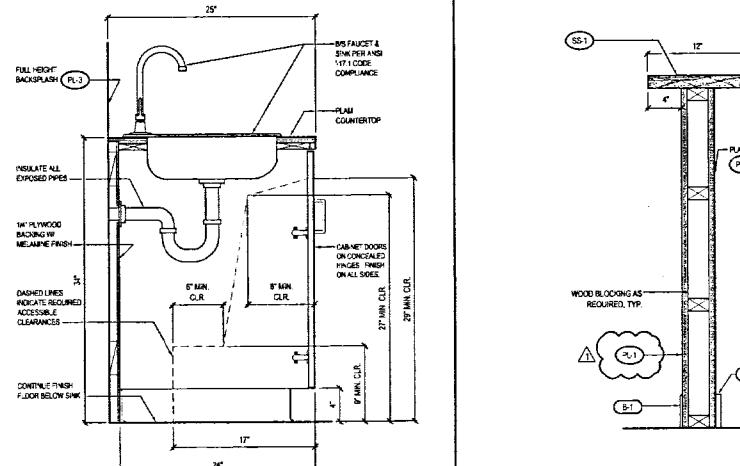
1 | RECEPTION 100 DESK ELEVATIONS CONTINUED



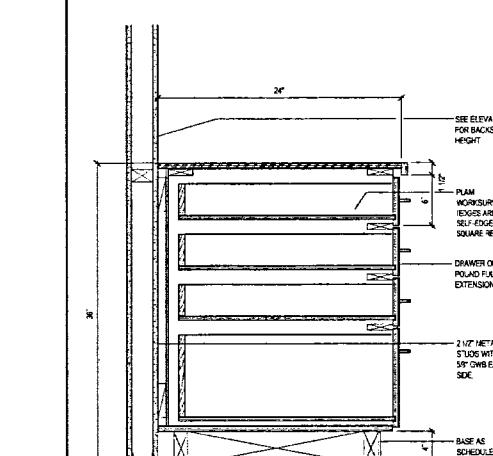
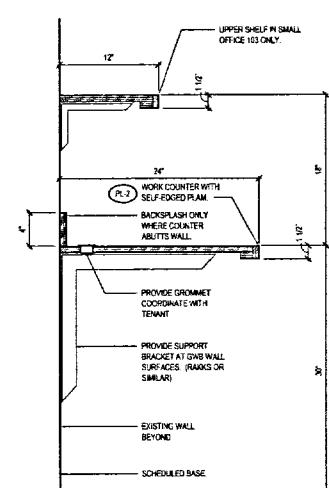
3/8" = 1'-0" 2 RECEPTION 100 COFFEE BAR



3 | BREAK ROOM 106 CASEWORK



3/8" = 1'-0" 4 WORK ROOM 105 CASEWORK



DRAWN BY:	DA	
CHECKED BY:	EG	
JOB NO.:	08029.005	
REVISIONS INDICATED THUS	DATE	BY
ISSUED FOR REVIEW	12/3/13	EG
ISSUED FOR PERMIT	12/12/13	EG
FINISH PLAN REVISIONS	12/17/13	EG
ELEVATIONS & DETAILS	12/30/13	EG

TENANT:

SHEET TITLE:

ELEVATIONS & DETAILS

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ATION OF FEDERAL COPYRIGHT LAW. COPYRIGHT BY
2013.

5 LOWER CASEWORK W/ ADA S

WK 1-1/2" = 1'-0" 10 PARTIAL HEIGHT W

ALL 1-1/2" = 1'-0" 11 SECTION AT COUNTER

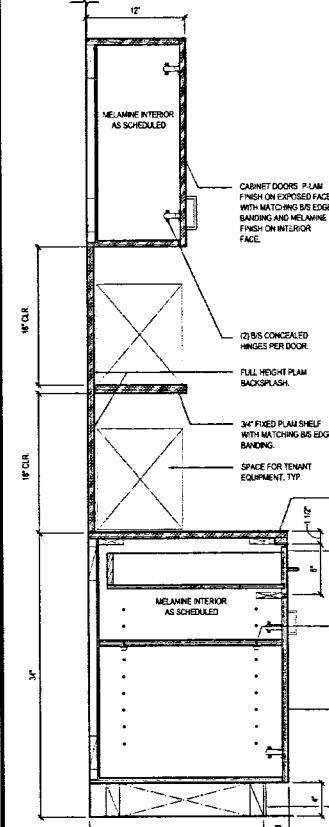
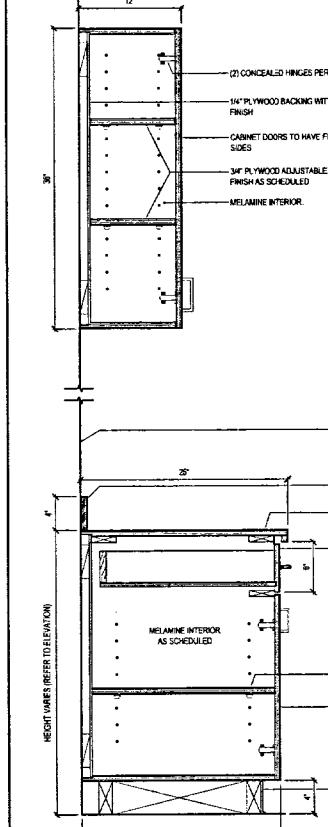
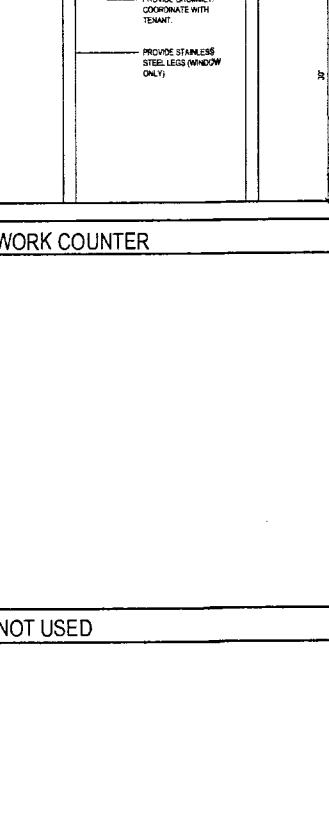
1-1/2" = 1'-0" 12 COUNT

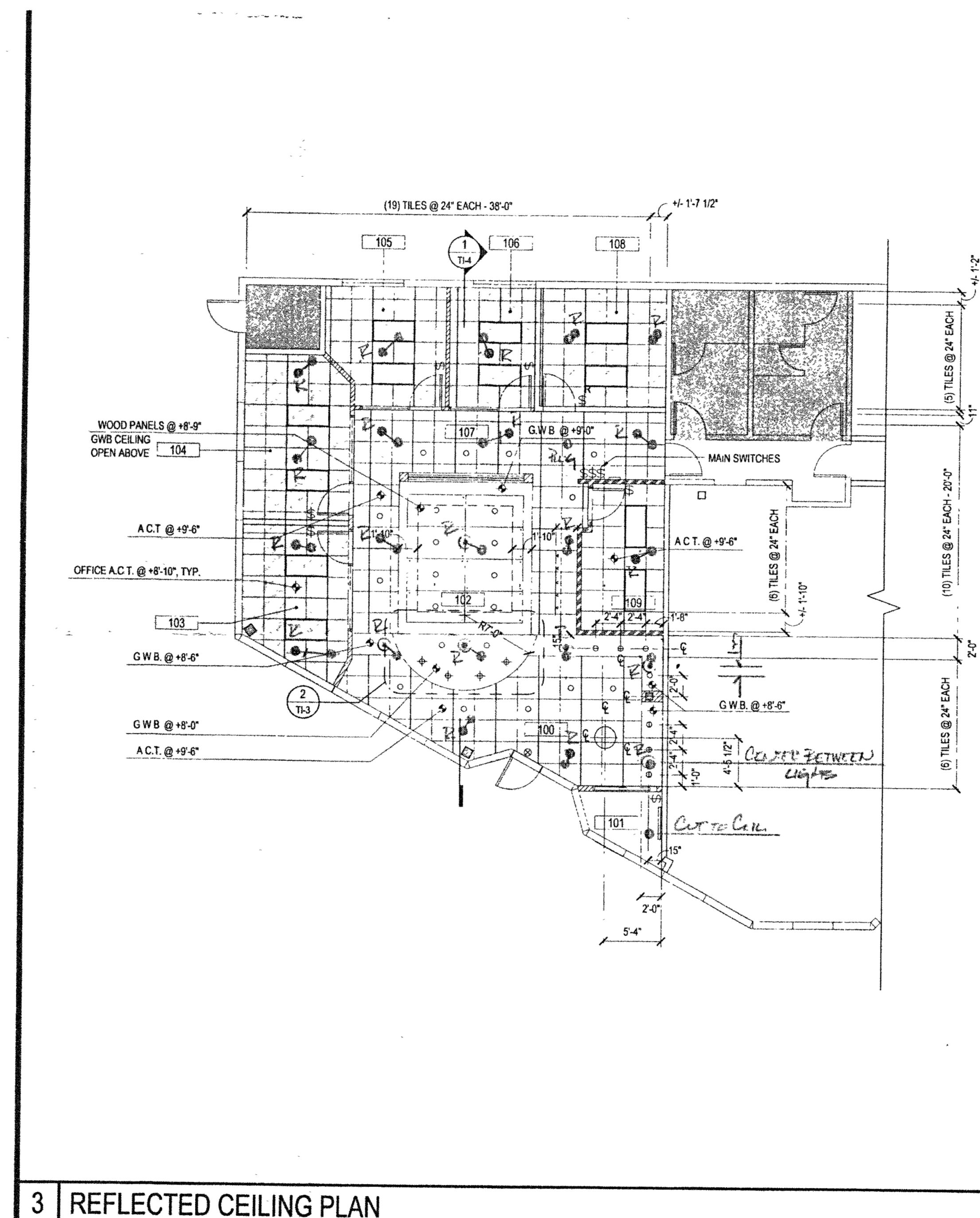
1-1/2" = 1'-0" 13 DRAWER CASEWORK

1-1/2" = 1'-0" VIOLATION OF FEDERAL COPYRIGHT LA
MSA 2013.

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SUITE 107
TUKWILA, WASHINGTON 98188

 <p>MEALINE INTERIOR AS SCHEDULED CABINET DOORS PLAIN FINISH ON EXPOSED FACE WITH MATCHING BS EDGE BANDING AND MEALINE FINISH ON INTERIOR FACE. 12" x 12" CONCEALED HINGES PER DOOR FULL HEIGHT PLAIN BACKSPLASH 34" FIXED PLAIN SHELF WITH MATCHING BS EDGE BANDING SPACE FOR TENANT EQUIPMENT, TYP PLAIN COUNTERTOP DRAWER ON (15) POUND FULL EXTENSION SLIDE MEALINE INTERIOR AS SCHEDULED ADJUSTABLE SHELF WITH FINISH AS SCHEDULED CABINET DOORS TO HAVE FINISH ALL SIDES BASE AS SCHEDULED</p>	 <p>12" CONCEALED HINGES PER DOOR 1/4" PLYWOOD BACKING WITH MEALINE FINISH CABINET DOORS TO HAVE FINISH ALL SIDES 34" PLYWOOD ADJUSTABLE SHELF WITH FINISH AS SCHEDULED MEALINE INTERIOR</p>	 <p>WORK COUNTER WITH SELF-EDGED PLAIN PROVIDE EPOXYMET, COORDINATE WITH TENANT. PROVIDE STAINLESS STEEL LEGS (WINDOW ONLY) 11/2" x 12" CONCEALED HINGES PER DOOR ANGLED SUPPORT BRACKET BEYOND WOOD BLOCKING AS REQUIRED TYP 1/4" BASE AS SCHEDULED</p>	<p>1 WORK COUNTER 1-1/2" = 1'-0" 2 ADA COUNTER 1-1/2" = 1'-0" 3 NOT USED NA</p>		
			<p>4 NOT USED NA 5 NOT USED NA 6 NOT USED NA</p>		
7 CASEWORK W/ MICROWAVE SHELVES 1-1/2" = 1'-0"	8 UPPER AND LOWER CASEWORK 1-1/2" = 1'-0"	9 NOT USED NA	10 NOT USED NA	11 NOT USED NA	<p>DRAWN BY: DA CHECKED BY: EG JOB NO.: 08029.006 NO. REVISIONS INDICATED TYP DATE BY ISSUED FOR REVIEW 12/3/13 EG ISSUED FOR PERMIT 12/12/13 EG FINISH PLAN REVISIONS 12/17/13 EG ELEVATIONS & DETAILS 12/30/13 EG</p>
12 NOT USED NA	13 NOT USED NA	14 NOT USED NA	15 NOT USED NA	16 NOT USED NA	<p>TENANT: OFFICE TENANT</p>
17 NOT USED NA	18 NOT USED NA	19 NOT USED NA	20 NOT USED NA	21 NOT USED NA	<p>SHEET TITLE: DETAILS</p>
<p>REPRODUCTION, ALTERATION OR PUBLICATION OF THIS DRAWING, WITHOUT EXPRESSED PERMISSION BY MSA, IS A VIOLATION OF FEDERAL COPYRIGHT LAW. COPYRIGHT BY MSA 2013.</p>					<p>TI-6 OF 6 EAS JAH/MSA</p>



3 REFLECTED CEILING PLAN

TUKWILA FIRE DEPARTMENT
Please call: 575-4407
and give this job
No. 09-S-009
and exact address for shut-
down or restoration approval

NOTICE

Weld stamps must be inspected before pipe is hung. Do not paint piping prior to hydrostatic test approval.

Without Comments
 As I Left It in Red
 For an Attached Letter

These plans have been reviewed by The Tukwila Fire Prevention Bureau for conformance with current City standards. Acceptance is subject to errors and omissions which could result in violations of adopted standards and regulations. The resubmit policy for the adequacy of design is 120 days from the designer. Additions, deletions or revisions to those drawings after this date will void this acceptance and will require a resubmittal of revised drawings for subsequent approval.

al acceptance is subject to field test and inspection by
the Tukwila Fire Prevention Bureau.

te: 1-17-09 By: Am S

FILE COPY

CEILING NOTES:

1. RE-CIRCUIT SWITCHING OF EXISTING LIGHTING AS NECESSARY TO COMPLY WITH NEW LIGHTS LAYOUT.
2. RE-USE EXIT SIGNS AS POSSIBLE.
3. SEE 8/TI-1 FOR CEILING LIGHTING LEGEND NOTES.
4. SEE 13/TI-1 FOR SUSPENDED CEILING SUPPORT REQUIREMENTS.

LIGHTING CALCULATIONS:

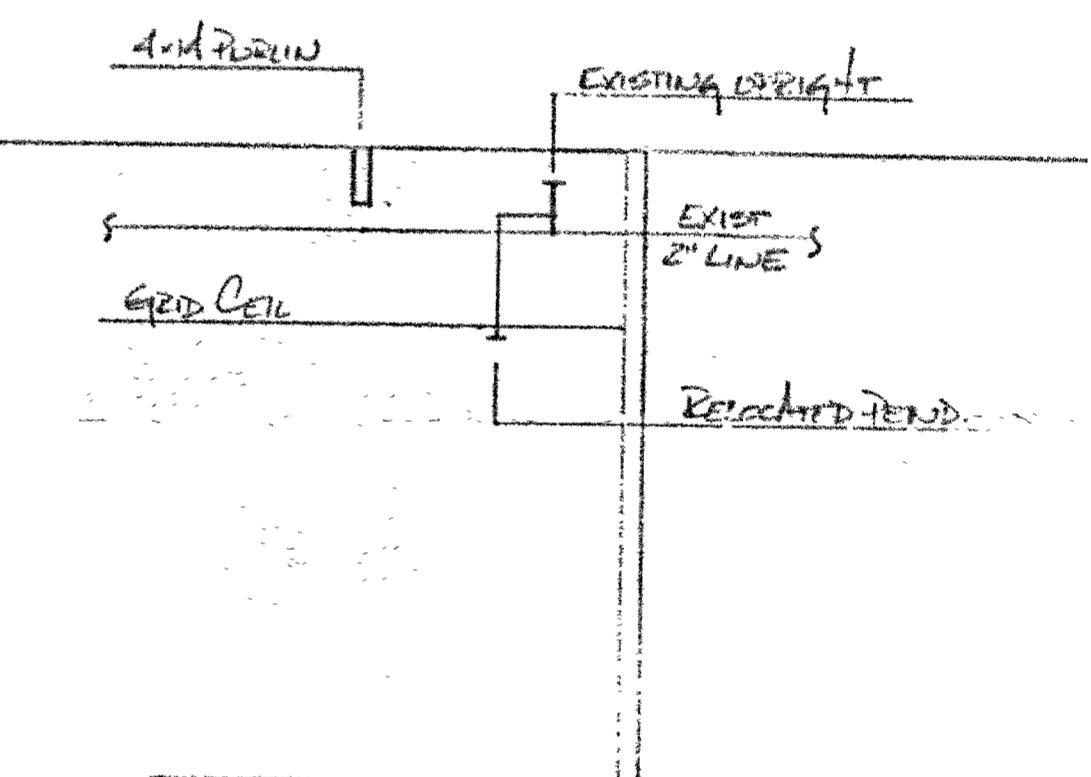
AREA OF WORK 1,812 U.S.F

ALLOWABLE WATTAGE.
1,812 X 95 = 1721 WATTS

WATTAGE USE

TENANT SPACE = 12 - 2'X4' RECESSED FLUORESCENT (DIRECT/INDIRECT) FIXTURE @ 56
WATTS EA = 672 WATTS
23 - COMPACT FLUORESCENT 6" RECESSED CAN LIGHTS @ 18 WATTS EA =
414 WATTS
4 - (1 LIGHT) MINI PENDANT FLUORESCENT FIXTURES @ 26 WATTS EA =
104 WATTS
1 - (3 LIGHT) DRUM PENDANT FIXTURE @ 26 WATTS EA =
78 WATTS
6 - COMPACT FLUORESCENT 6" RECESSED WALL WASHERS @ 18 WATTS EA
= 108 WATTS

TOTAL WATTS USED: 1626 WATTS



SECTION 1

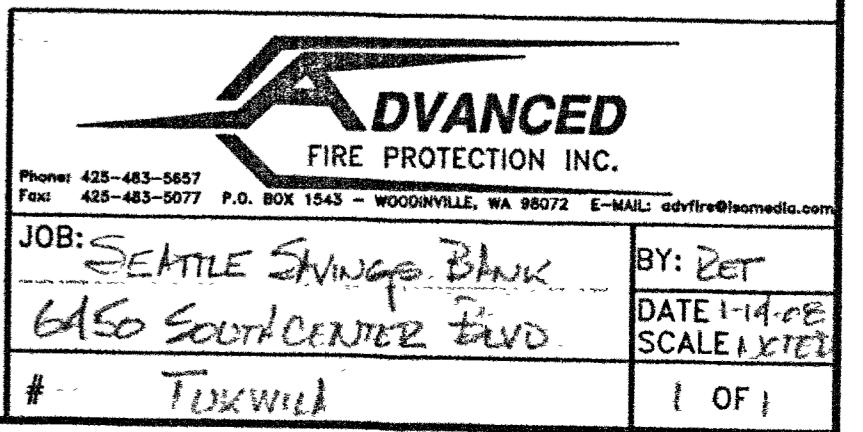
NOTES
THE TENEMENT INSTITUTED FOR CEDAR HILL
HARZED DEC 1944-15
THE NEW DRAINS SPILED DO
THE NEW DRAINS RUN WITH 3" CEDAR
FENCES, 3/8" IRON & STEEL RING HANGERS

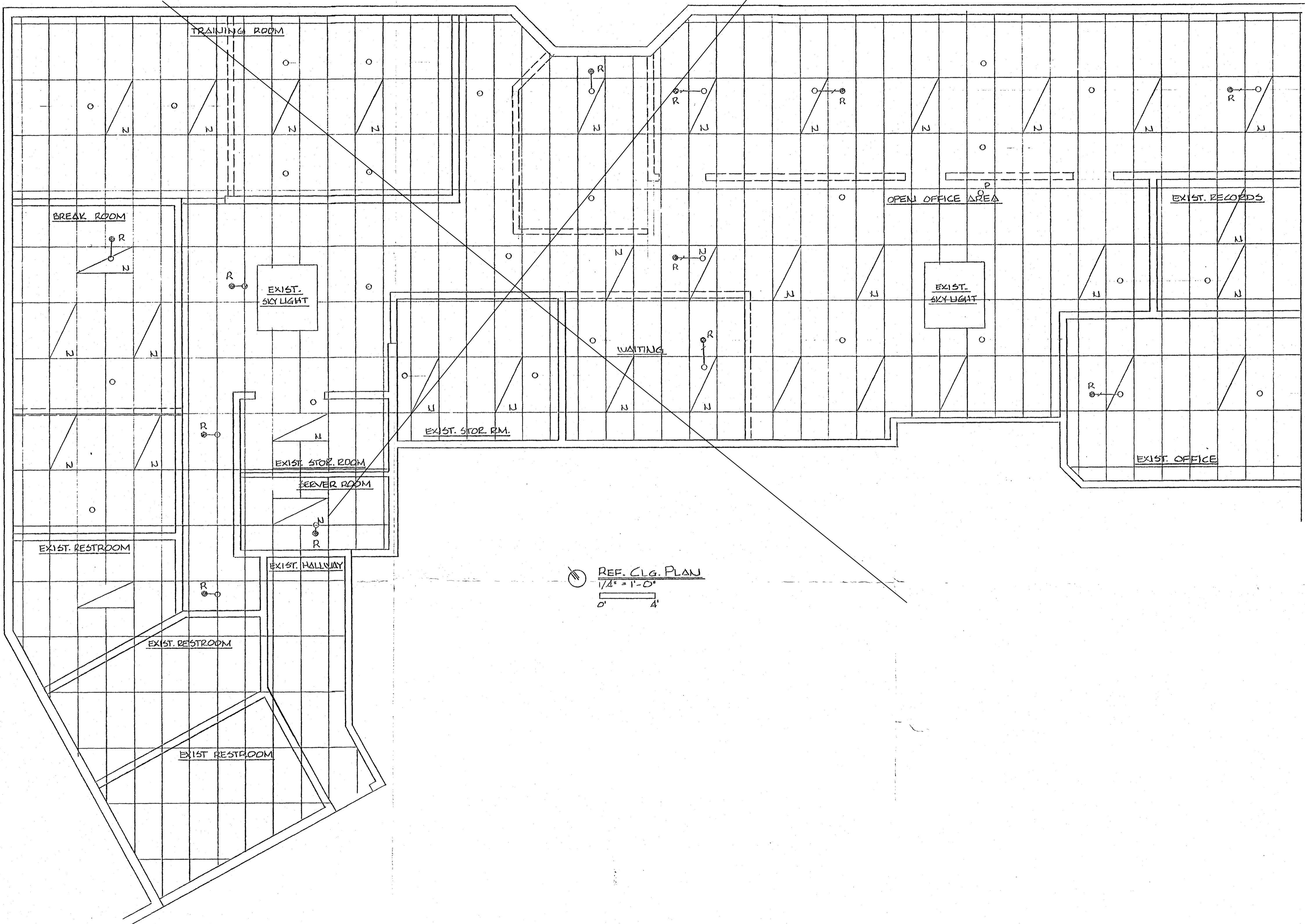
PAID

11-2009
26417
kwila Fire
Hill 9.50



SPRINKLERS		
PENDENTS	●	EXISTING
PENDENT	●	155° 1/2" VIKING CRB
PENDENT	●	155° 1/2" VIKING CRB
		CANCELLLED
TOTAL		





FILE
SCOPE OF WORK
RELOCATE PEND. HEADS AT SUSP. CLG'S FOR NEW LIGHT LOCATIONS &
REMOVED WALLS - NO WORK IN AREAS DESIGNATED AS EXIST.

DESIGN CRITERIA ORD 1
NFPA 13, 2010 EDITION - LIGHT HAZ. FOR OFFICE OCCUPANCY - MAX. OF
2 HEADS FED FROM EXIST. 1" OUTLET

GENERAL NOTES
1. ALL MATERIAL AND INSTALLATION PER NFPA 13
2. ALL ARM-COVERS EXCEEDING 2A" TO BE HUNG PER NFPA 13 - 12" IF SYSTEM
PRESSURE EXCEEDS 100 PSI
3. ALL NEW PIPE IS SCH. 40 BLACK STEEL W/D.I. SCREWED FITG'S
4. TESTING PER NFPA 13 & LOCAL AUTHORITY HAVING JURISDICTION
5. T.I. MODIFICATIONS DO NOT AFFECT THE SYSTEM HYD. CALC'S

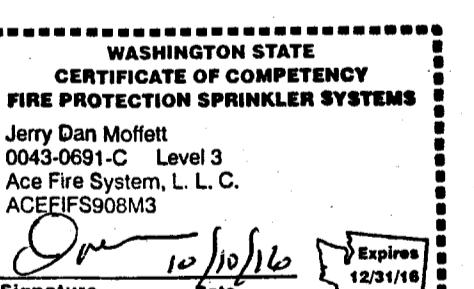
LEGEND
--- EXIST. PIPE
— NEW PIPE
→ HANGER LOCATION
(x-x') CLG HEIGHT
○ EXIST. SPRINKLER - RELIABLE MOD. G CHROME RECESS 1/2" K=5.6
● R NEW LOCATION OF EXIST. PEND. HEAD
○ P REMOVE EXIST. DROP & INSTALL 1" PLUG ABV. CLG.
TOTAL 13

ACCEPTED

Without Comments
 As Noted in Red
 Per The Attached Letter

These plans have been reviewed by The Tukwila Fire Prevention Bureau for conformance with current City standards. Accepted as noted in red. Errors and omissions which may affect the safety of the adopted plans and/or the fire protection system for the adequacy of code requirements shall be brought to a designer. Additions, deletions or changes to these drawings after this date will require re-submittal and will require a resubmittal for review and planning for subsequent approval. Final acceptance is subject to final test and inspection by The Tukwila Fire Prevention Bureau.
Date: 10-12-16 By: Am511

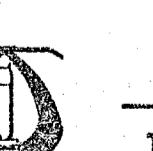
TUKWILA FIRE DEPARTMENT
Please call 206-573-4407 and
give this File Permit No.
16-S-211
and exact address for shut-
down or restoration approval.



PAID

GT 11 2016

TUKWILA FIRE
\$300.00 CC



ACE
FIRE SYSTEMS LLC

P.O. BOX 2065 CONTR. REG # ACEFIS908M3
BUCKLEY, WA 98321-2065
BUS: (206) 414-1573 CELL: (206) 349-1175 FAX: (360) 829-4301

UBER T.I.
6450 SOUTH CENTER BLVD. #202
TUKWILA, WA 98188

CONTR. WITH: SUPERIOR BUILDERS
6313 20TH ST. E
FIFE, WA 98424
253-722-7160

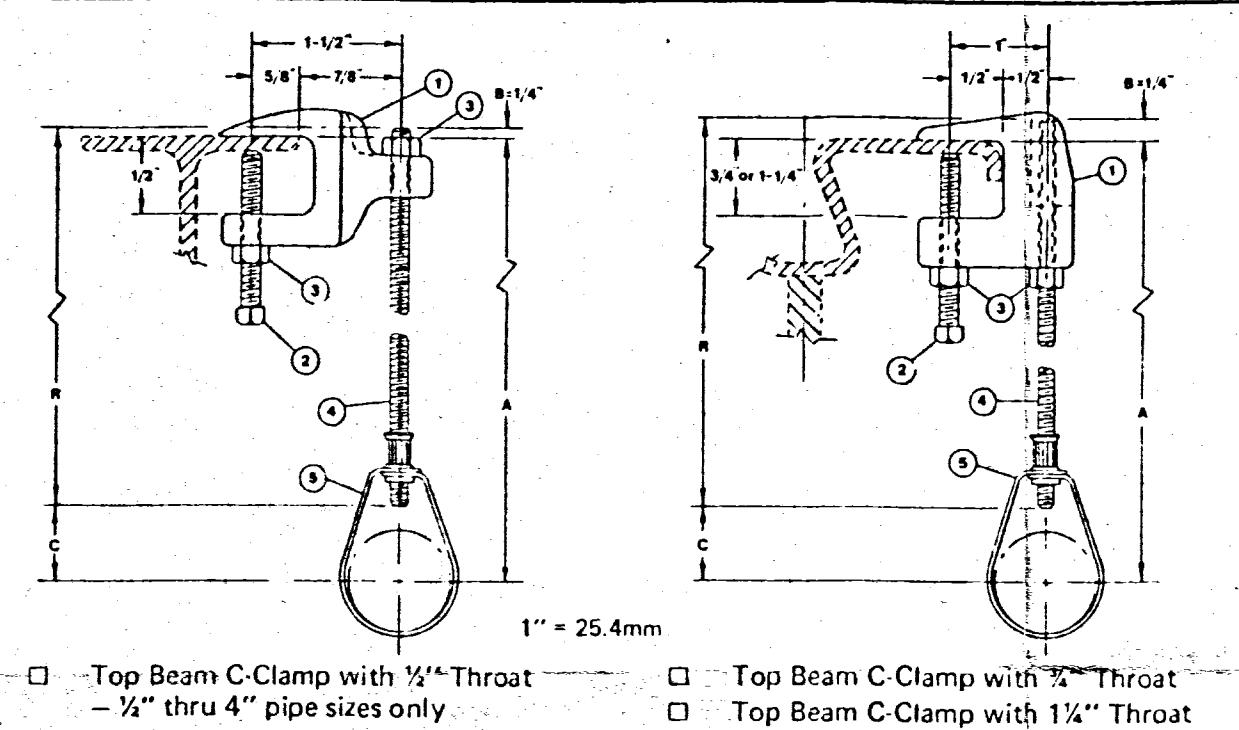
DATE 10-10-16
DRAWN BY J.D.M.
REvised
SCALE AS NOTED

LOF 1

BLDG PERMIT #
PARCEL # 0003200011

No. 25 Top Beam C-Clamp Hangers

- Hanger Rings / C-Clamps: UL Listed & FM Approved
- Hanger Rods: Comply with NFPA 13
- All Thread Rods
- Machine Thread Rods
- Finishes:
- Standard Components
- All Galvanized Components



Components

1. Top Beam C Clamp
2. Set Screw
3. Lock Nut (Hex Nut)
4. Hanger Rod
5. Adjustable Hanger Ring

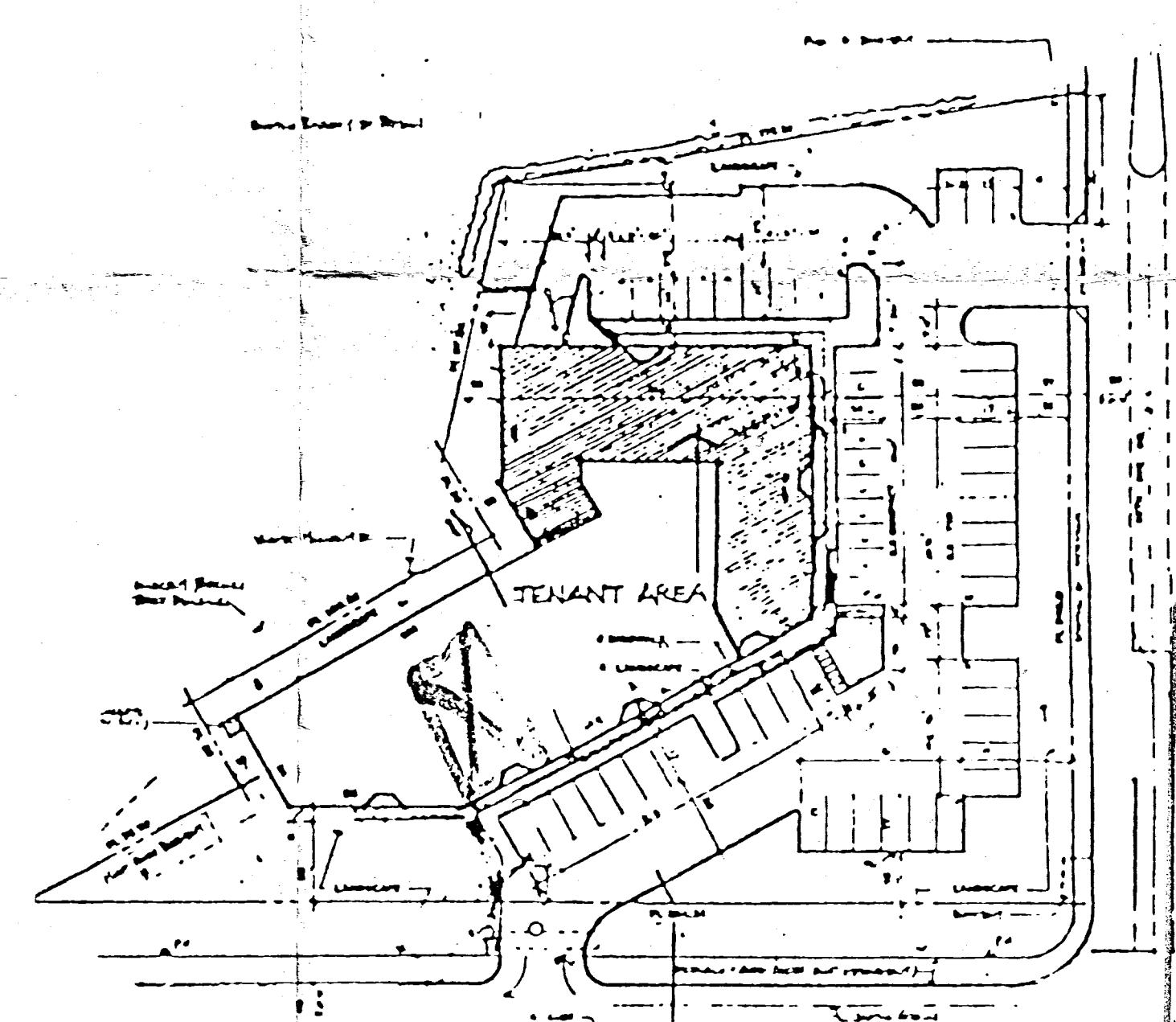
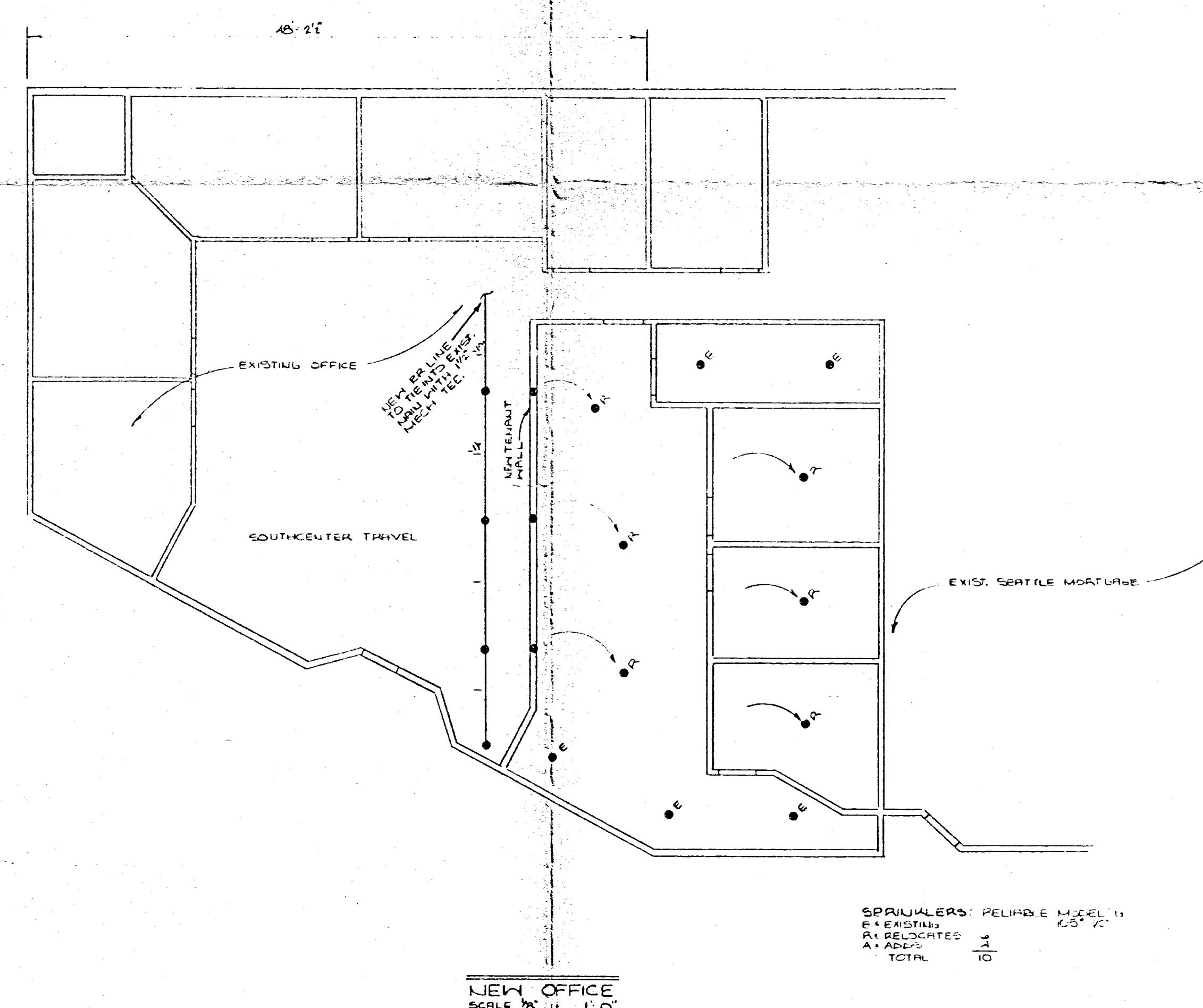
Application / Description

No. 25 Hangers are designed primarily for the support of piping from the top of structural steel members. They utilize C-clamps that are specifically listed/approved for attachment to the flat top section of beams, bar joists, and so forth.

These hangers may also be used on the bottom chord/ flange of structural members if the steel is flat (i.e., not tapered) at the point of contact with the upper jaw of the C-clamp. For information on other hangers which utilize C-clamps designed specifically for bottom of steel attachment, refer to other data sheets in Section C 2.

There are 6 components in a basic No. 25 Hanger: The C-clamp with its set screw and lock nut, a threaded hanger rod and lock head, and an adjustable hanger ring. The rod may be either all thread rod (ATR) or machine thread rod (MTR). All thread rod is considered to be standard, however. As a rule, machine thread rod is provided only when it is a specific requirement of the job specifications.

HANGER DETAIL
No SCALE



Thank You
We Appreciate Your
Business

ACCEPTED

WITHOUT COMMENTS.

AS NOTED HERETO.

FOR THE ATTACHED LETTER

The drawings attached hereto have been

reduced in accordance by the City of

Tukwila Fire Dept. All dimensions

on plans and drawings are in

feet and inches unless otherwise

specified.

Each drawing is sufficient to fully

insure the correctness of the

drawings.

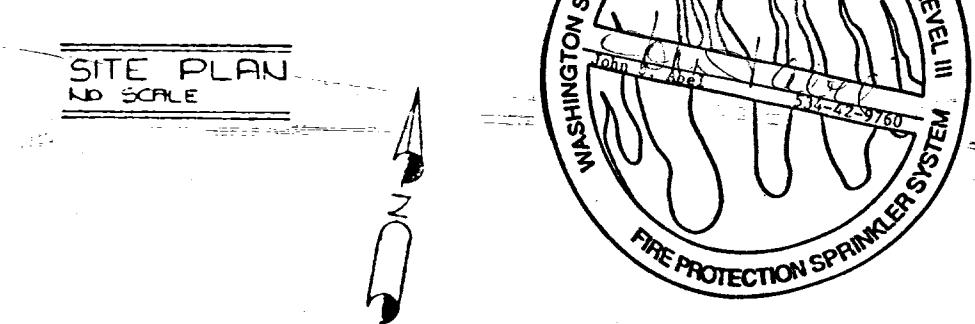
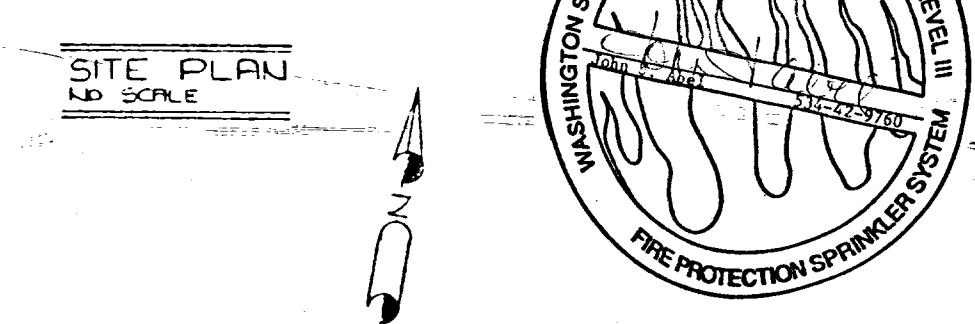
DATE: 10-30-91 BY: [Signature]

CITY OF TUKWILA 5/13

575-4400

the new 1/2" branch

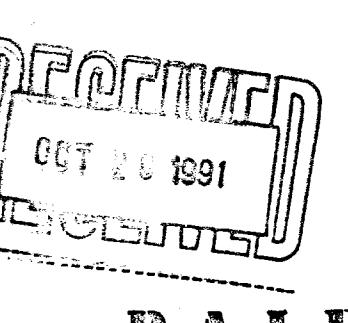
connects to the 5" main



FILE

JOHN J. ABEL FIRE PROTECTION
4932 PIONEER RD BOTHELL WA 98012 481-7659

THE MONEY STORE
TENANT IMPROVEMENT
4930 SOUTH CENTER BLVD.
TUKWILA WA.



THIS DOESN'T SHOW CURRENT
LAYOUT